

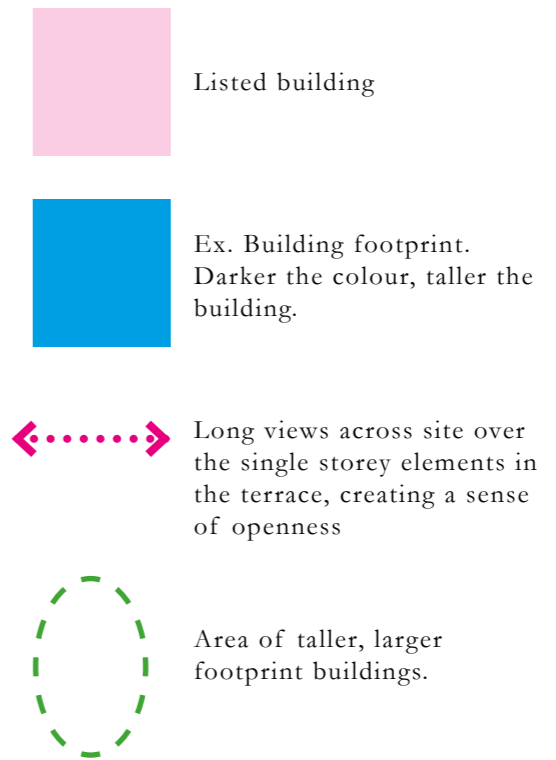
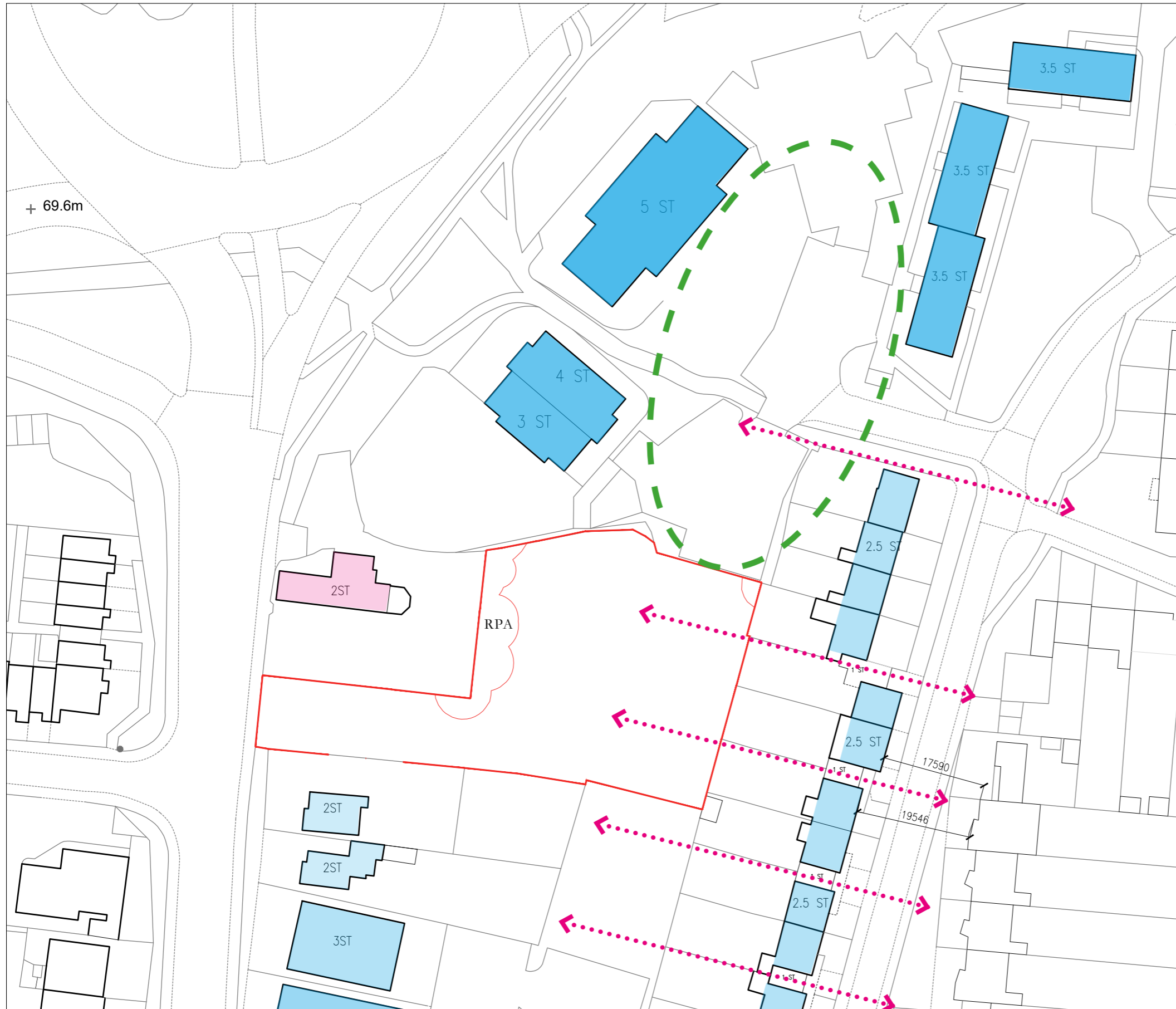
## 4.0 Design Proposal :

## 4.0 Design Proposal : Site

The proposal is to create a new small residential neighbourhood that reflects the character of the surrounding area while also providing a “gentle density”.

We will be preserving the setting of the listed building, immediately to the west of our site and also preserving the trees that form that boundary between our site and the listing building garden.

In keeping with the surrounding area we will be providing mostly small scale housing blocks with individual front doors accessed directly from the communal garden. These will sit alongside three storey flatted blocks.



Taller building  
completing the end of  
the taller building areas

## 4.1 Design Proposal :

Our proposal creates a new residential scheme around a new 230m<sup>2</sup> landscaped courtyard garden. The scheme is predominately low rise with the vast majority of the scheme at 2 or 2.5 storeys with the ridge heights similar to the existing terraced houses on Five Acres.

To the west of our site the new houses is only 1.5 storeys tall with the first floor accommodation set into the roof space.

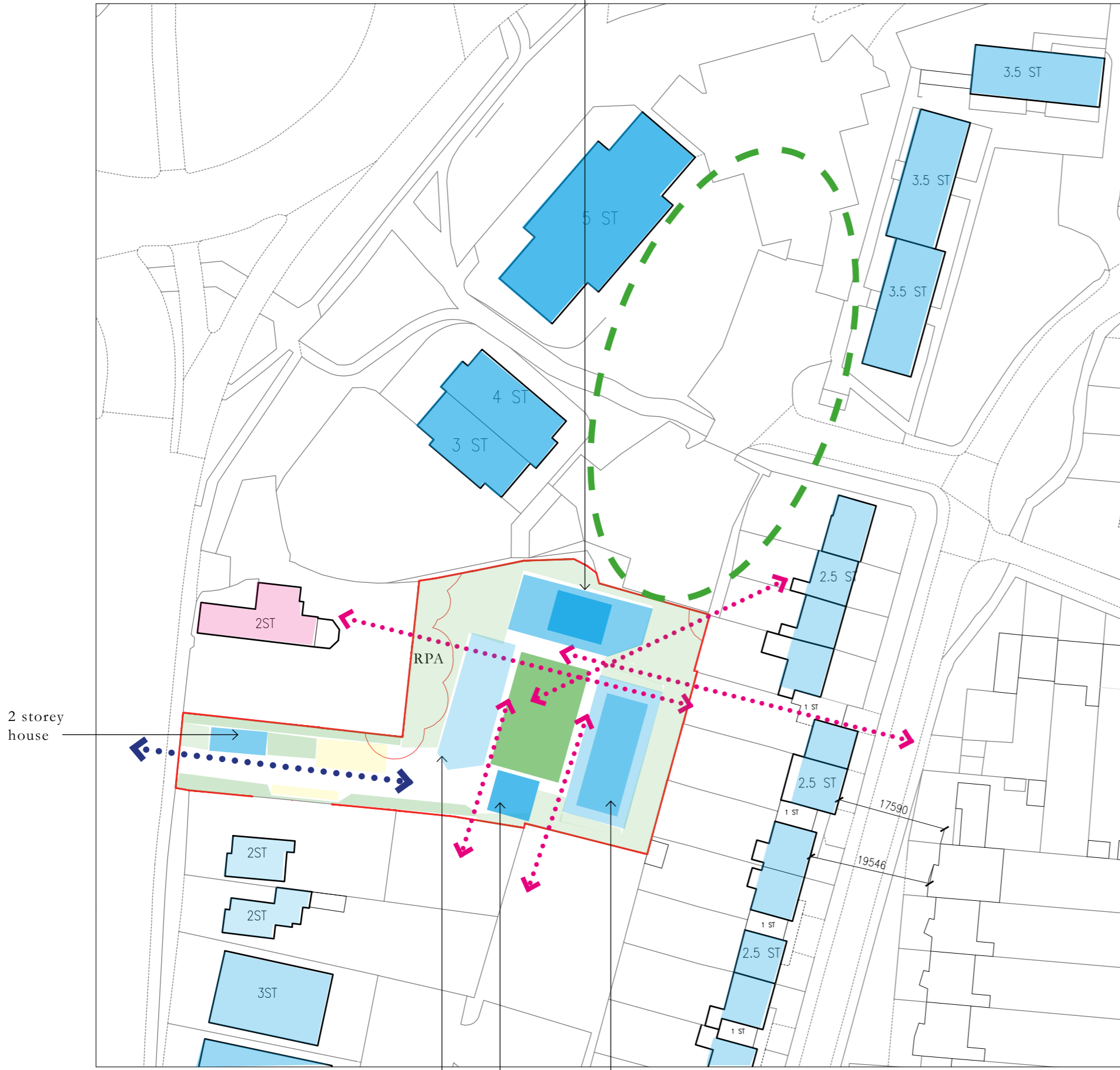
To the north of our site we have a small flatted block. The centre of this building is slightly taller and is sits at the southern end of the group of taller buildings. This helps to provide positive overlooking to the areas north of our site.

The site is a backland site, therefore the design reflects this character with the scheme designed to sit well within the context and have minimal impact on to the surrounding dwellings including the listed cottage to the west of our site.

The scheme takes ideas from Dyers Almshouses, a scheme designed around a landscaped courtyard garden with houses accessed from the garden area. The scheme also takes ideas from traditional mews developments; an ideal historic precedent for developing homes to the rear of existing dwellings.

The scheme is designed as a series of smaller terraces at a domestic scale. Each terrace is designed to appear as a house with front doors and windows facing the central courtyard garden. Internal circulation spaces, lobbies, hallways etc are avoided wherever possible.

The lower rise, gentle density, approach ensures that ideal use of the site but also respects the surrounding context.



2 storey house

Smaller blocks listed cottage and rear gardens, 1.5 storey but with the first floor partly in the pitched roof space.

2 storey house

Small terrace of 2 and 2.5 storeys, similar to existing terraces opposite

- Listed building
- Building footprint. Darker the colour, taller the building.
- Central communal garden
- Private rear gardens
- Parking 8 cars
- Access to the site
- Long views across site over the single storey elements in the terrace, creating a sense of openness
- Area of taller, larger footprint buildings.



View of the proposal looking south over the landscaped communal courtyard.

# 4.2 Design Proposal : Plan Site Layout



## 4.3 Precedent Project : Mews and Courtyard Housing

- 8 new family houses around a central courtyard
- London Borough of Enfield
- Delegated Planning Approval
- Due for completion Spring 2024

Images of the precedent project



Proposed Street View :

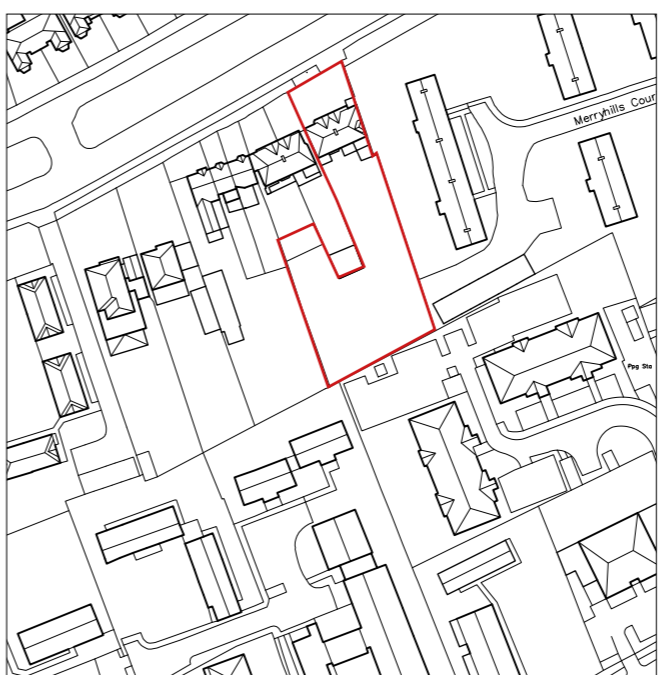
Gouldstone and Co were appointed to develop a scheme for new family housing on a poor used and overgrown garden site in Oakwood, Enfield.

The Bramley Road development consists of eight delightful new family houses each with their own private gardens. Two semi-detached houses are accessed directly from Bramley Road, two more detached houses are arranged along a new mews street, that leads to four cottages around a delightful new rear courtyard.

The development is designed to minimise the impact on to the amenity of the neighbouring properties. The strategy of pushing the buildings towards the edge of the site ensures that all the habitable rooms look back internally across the mews and into their own private gardens and not towards adjacent properties, therefore protecting the amenity of the existing residents.

On the eastern part of the site, we are proposing only a single storey building, as this reflects the height of the adjacent hedge, and to avoid having a 2 storey element on the boundary line. The first floor is pushed away from the boundary with a pitched roof also minimising the impact on to the neighbouring properties. Importantly there are no windows in the rear of these houses facing neighbouring land. The houses all look west over the communal mews entrance and to the south, into their own generous private amenity space.

The houses to the south of the site are pulled away from the site boundary and are again two storeys with no windows facing the boundary. Along the western boundary with the existing neighbouring gardens we are proposing two further houses. These house looks into a series of internal courtyards.



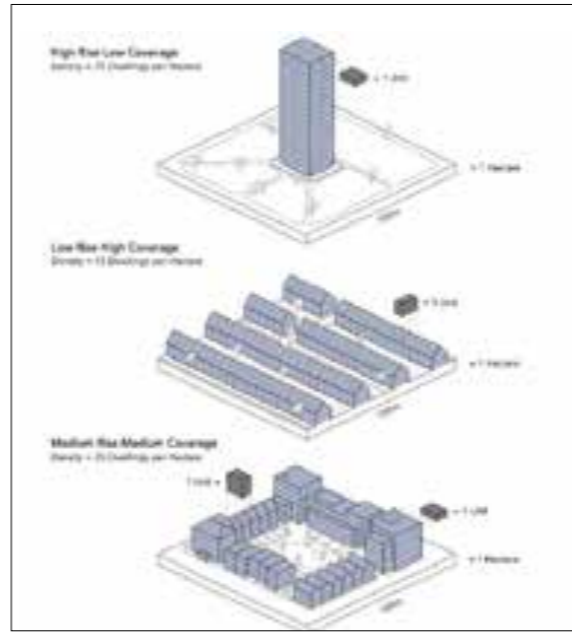
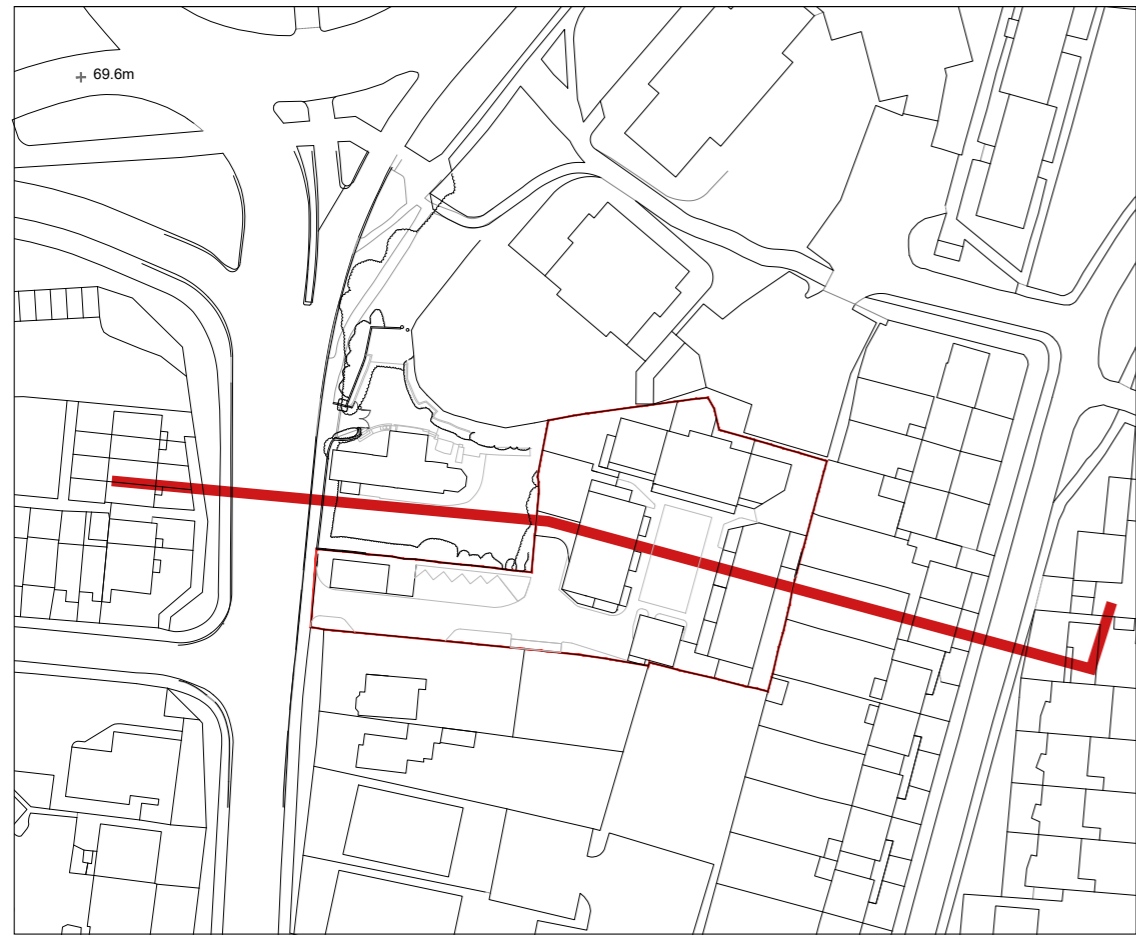
Existing Site Plan :



Proposed Site Plan :

Images of the precedent project rear courtyard housing





All three drawings have the same number of dwellings

## 4.4 Design Proposal : Sections Overall

One of the key design decisions for the scheme was to keep the majority of the scheme at a very low level. Therefore achieving a good density through site coverage and not through height. This principle is well put in the Crawley Compact Residential Development Guide. The diagram in this guide shows how the same density can be achieved through a lower street based scheme.

Therefore the overall site section through the site shows how the distances between our scheme and the surrounding houses is both in keeping with the existing distancing and also in keeping with the various Crawley policy requirements.

We have reduced the massing to a minimum where the scheme is nearest to the listed Fir Tree Cottage as shown on the overall site section below.

The ridge of the housing nearest to the Cottage is slightly below the line of the Cottage. On the eastern side of the site the eaves and ridge heights of the new housing align with the existing eaves and ridge height of the existing housing on Five Acres.

The taller 4-5 storey existing flatted blocks are shown to the north of our site.

Key Plan :





## 4.5 Design Proposal : Sections Fir Tree Cottage

In accordance with the various policies of Crawley, including Core Policy CH15 our scheme seeks to preserve or enhance the design and character of the Listed Building and have regard to its historic significance.

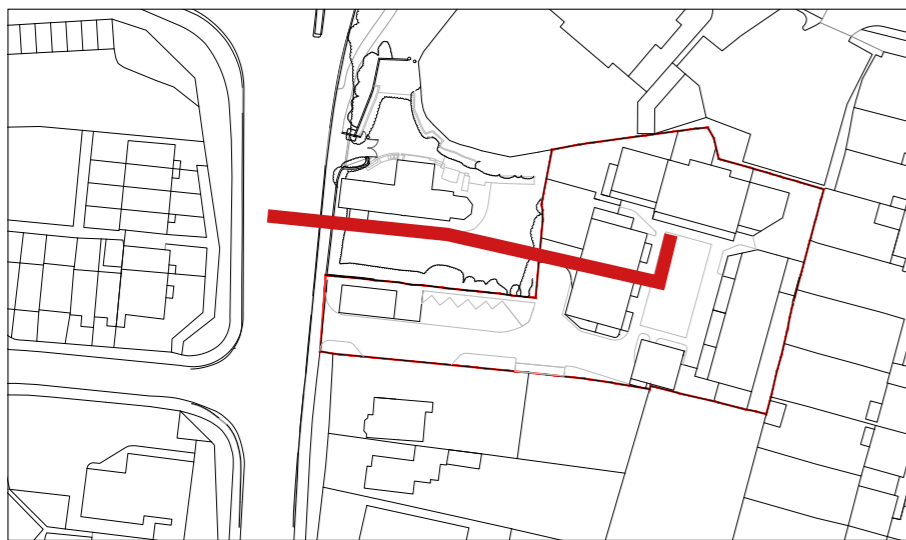
There is a very clear delineation between our site and the garden of the listed cottage. This is defined a consistent line of mature trees.

We have worked with a arboricultural consultant to accurately plot the root protection areas of these trees. Therefore we are not proposing any new buildings in the RPAs of the existing trees.

The new housing nearest to the listed cottage are the smallest on the proposal. They have two floors but the top floor is set within the pitched roof space. Therefore the roof pitched down towards the listed cottage.

The distance between the rear of our 1.5 storey houses and the flank of the listed cottage is around 23.4m. This is not that much smaller than the distance between the front of the listed house and the newer housing on the far side of London Road.

Please also note that the only windows on the listed cottage that face our site are located on the return elevation and not on the flank nearest our site. Therefore these windows are around 28m away from our new building.



Aerial view of Fir Tree Cottage with London Road behind and the newer flatted blocks to the foreground. There are no windows on the existing Fir Tree Cottage flank elevation that faces the site.

Key Plan :





Nearby residential development with similar front to front distances

Key Plan :

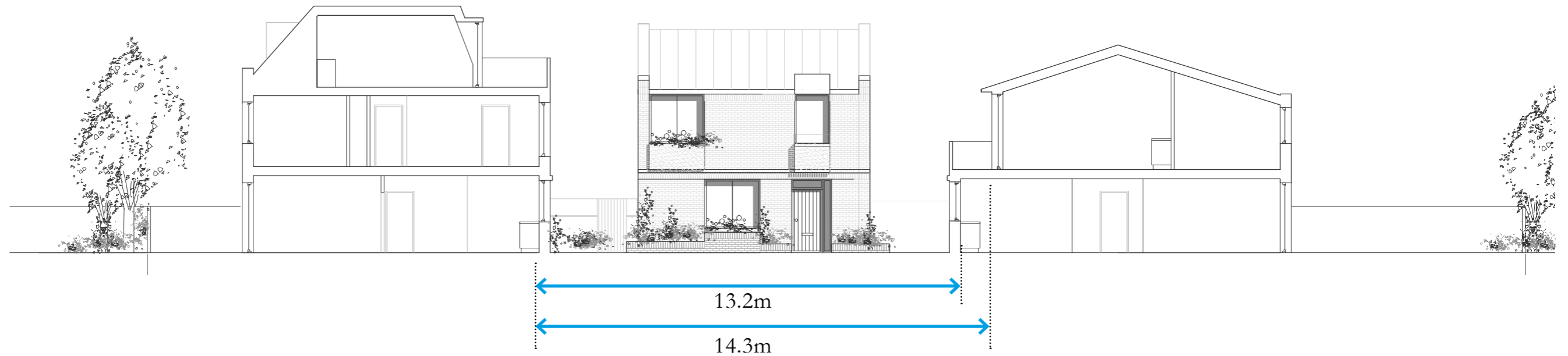
## 4.6 Design Proposal : Sections New Courtyard Garden

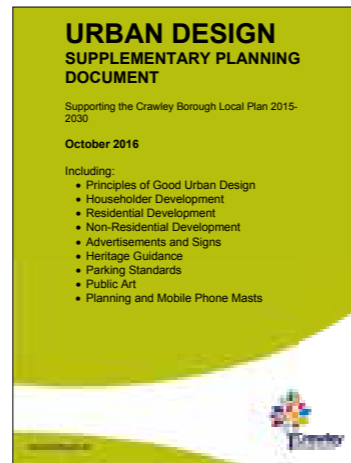
Our new scheme is designed around a new landscaped communal courtyard garden. This provides the circulation of our scheme. The scheme aims to reflect the scale and massing of a traditional mews house street.

At ground floor we have positioned the kitchens to the front of each dwelling. The distance between the kitchen ground floor windows is 13.2m and at first floor the smaller housing block on the western side of the site is set back to create small roof terraces overlooking the courtyard. This pushes the distance between the facing windows to around 14.3m.

As shown in the previous sections of this document the distances are in accordance with the surrounding area. In some places both two and three storey housing in the area is arranged closer together than it is proposed in our site.

Windmill Court has houses that range between 13-15m apart, these are two storey with a pitched roof above. On Connaught Gardens the houses are three storeys with a pitched roof and the distance front to front is 14m.





## 4.7 Design Proposal : Sections Five Acres

As shown on the section below the distance between our new scheme and the existing housing on Five Acres is in keeping with the height / massing and distancing of the existing wider site.

We have also referred to the Crawley Urban Design SPD. This document gives guidance on the potential rear to rear distances between new and existing housing. The diagram of this is shown opposite.

In accordance with this policy where we have two full storeys we have increased the distance between the existing and new buildings to 21.5m. This exceeds the 21m distance required.

The proposed ridge line of the new housing also aligns with the ridge line of the existing houses.

On the top floor we have set the accommodation into the roof space so that the roof pitches away from the existing houses. There are no clear windows facing the existing houses to the rear.



Key Plan :

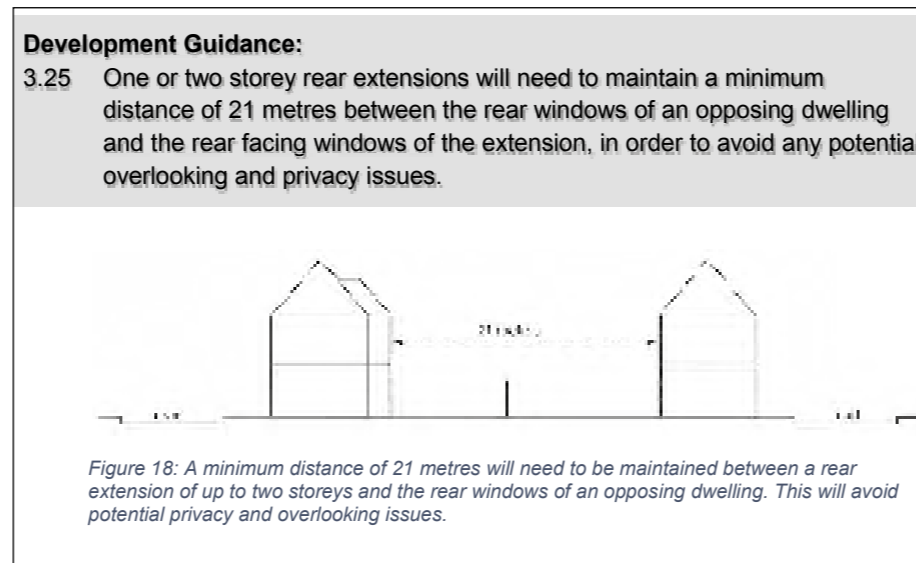
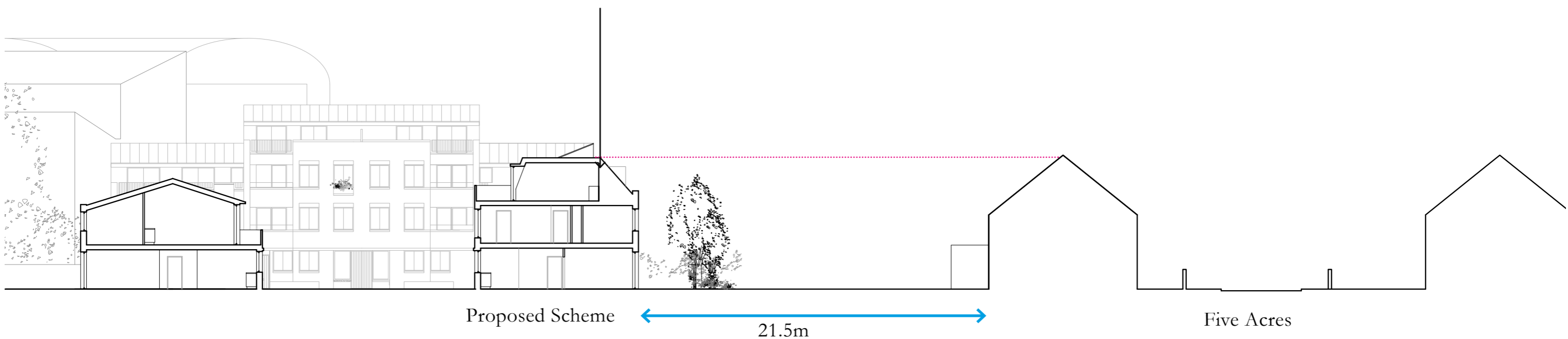


Figure 18: A minimum distance of 21 metres will need to be maintained between a rear extension of up to two storeys and the rear windows of an opposing dwelling. This will avoid potential privacy and overlooking issues.

Pitched roof, no rear facing top floor windows





Key Plan :



## 4.8 Design Proposal : Sections Taller Blocks

To the north of site the proposed flattened block is set well away from the site boundaries on the west and east. The new flattened block is the tallest part of our proposal and is intended to sit well within the group of taller buildings to the top of the site.

The new building is also intended to provide positive overlooking over the neighbouring site that is currently a large, poorly overlooked car park.

Our new building steps between three and four storeys with all the top floors provided in mansard roofs set back from the main building line below.

As shown in the section below the new building steps up towards the taller buildings in this area.



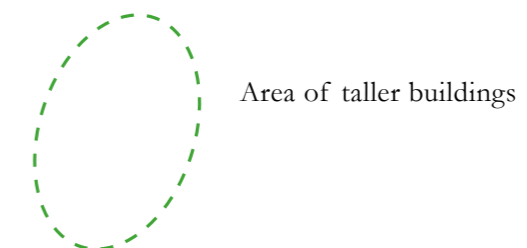
Proposed Section through the length of our site and the taller flattened blocks to the north of our site

## 4.8 Design Proposal : Taller Blocks

To the north of our site there are taller flatted blocks. To the north east there are the three storey flatted blocks typical of the New Town developments of the 1960s. These are regular slab blocks surrounded by grassed areas.

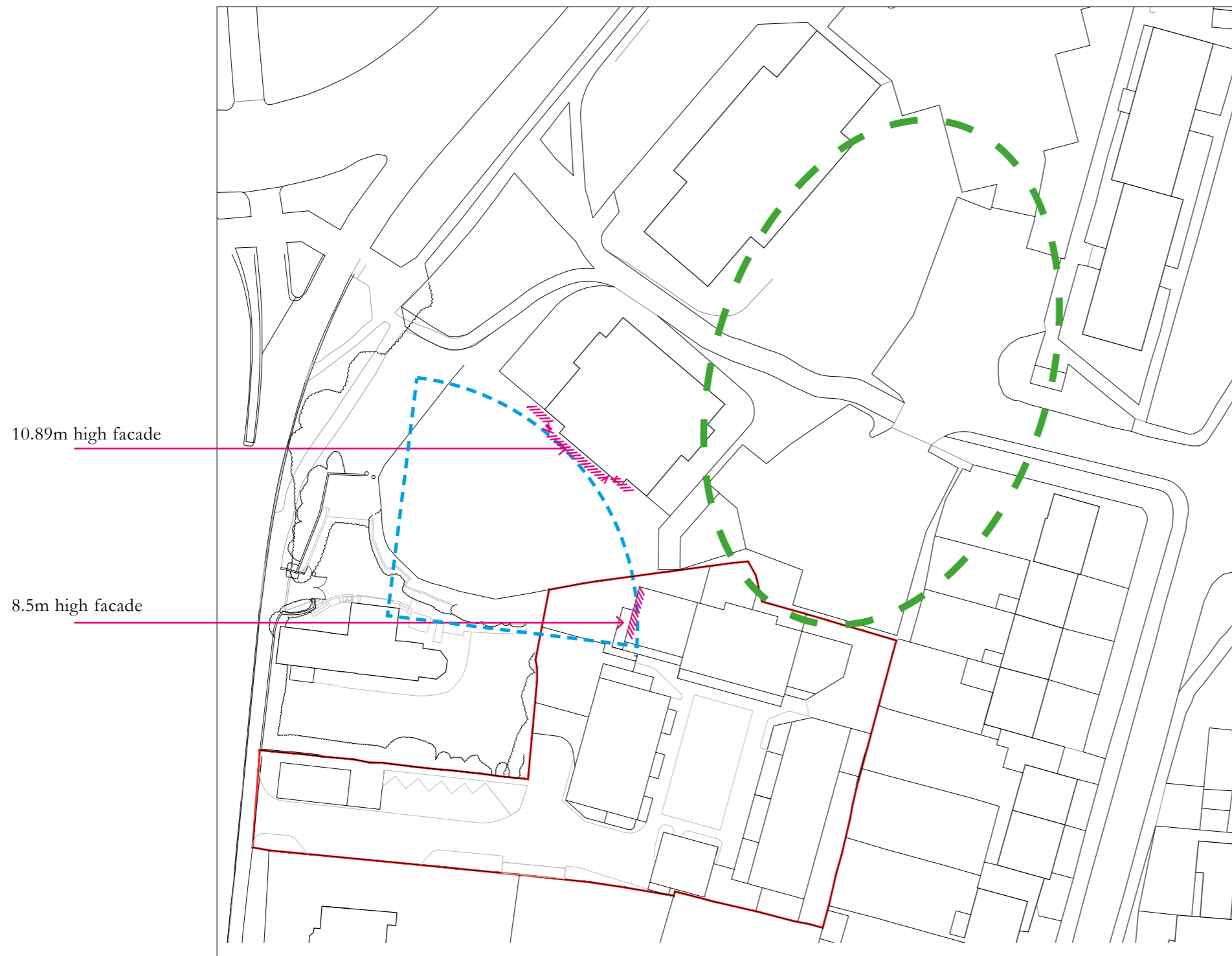
Immediately to the north there are taller residential blocks from approximately 20 years ago. These are taller and rise to over five storeys tall.

As shown on the diagram opposite when taking an arc from the only windows on the listed building that face towards our site our three storey mansard at around 8.5m high is the slightly further away from the listed cottage than the 10.9m high flank wall of the existing flatted block.



The area to the north of our site is dominated by a large car park. This area would benefit from great passive surveillance from our site facade. Therefore we are showing windows facing this area.

The three and four storey elements of our scheme are located in this area to both reflect this area of taller buildings but also because it is in the centre of the site width, well away from the existing houses to the east and west.





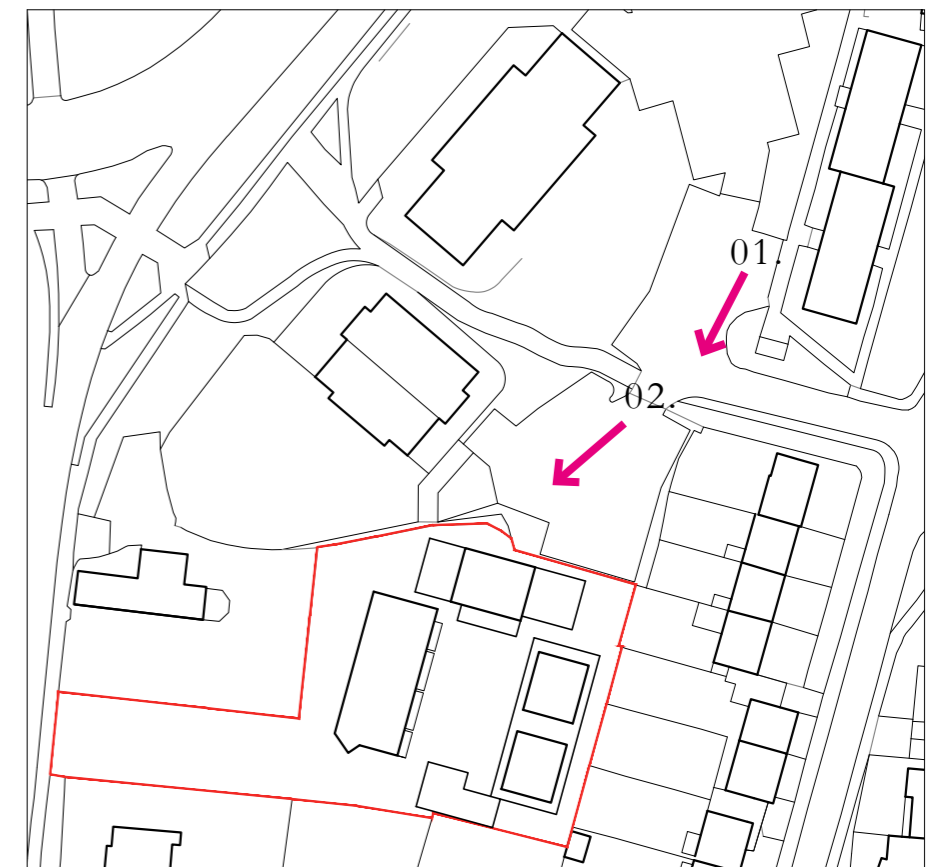
01.



02.

## 4.8 Design Proposal : Taller Blocks

Please see opposite a couple of accurate / scaled sketches that show the potential elevation facing the car park and how it sits well away from the neighbouring existing buildings.






## 4.9 Plan Distancing :

The scheme has been designed in accordance with the distancing as shown in the Crawley Urban Design guide.

At first floor there are rear facing windows as the rear elevation is over 21m away from the rear elevation of the existing housing.

At second floor there are no rear facing windows.

All dwellings are dual aspects. Some dwellings are triple aspect ensuring that all dwellings have good levels of daylight / sunlight.

 = Elevations with no rear facing windows

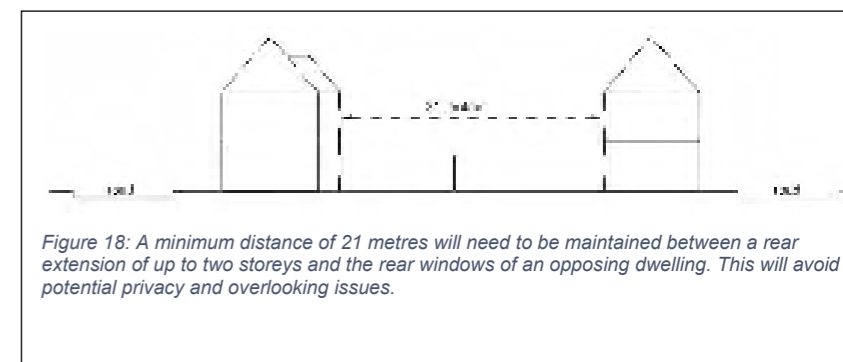


Figure 18: A minimum distance of 21 metres will need to be maintained between a rear extension of up to two storeys and the rear windows of an opposing dwelling. This will avoid potential privacy and overlooking issues.

## 4.10 Plan Aspects :

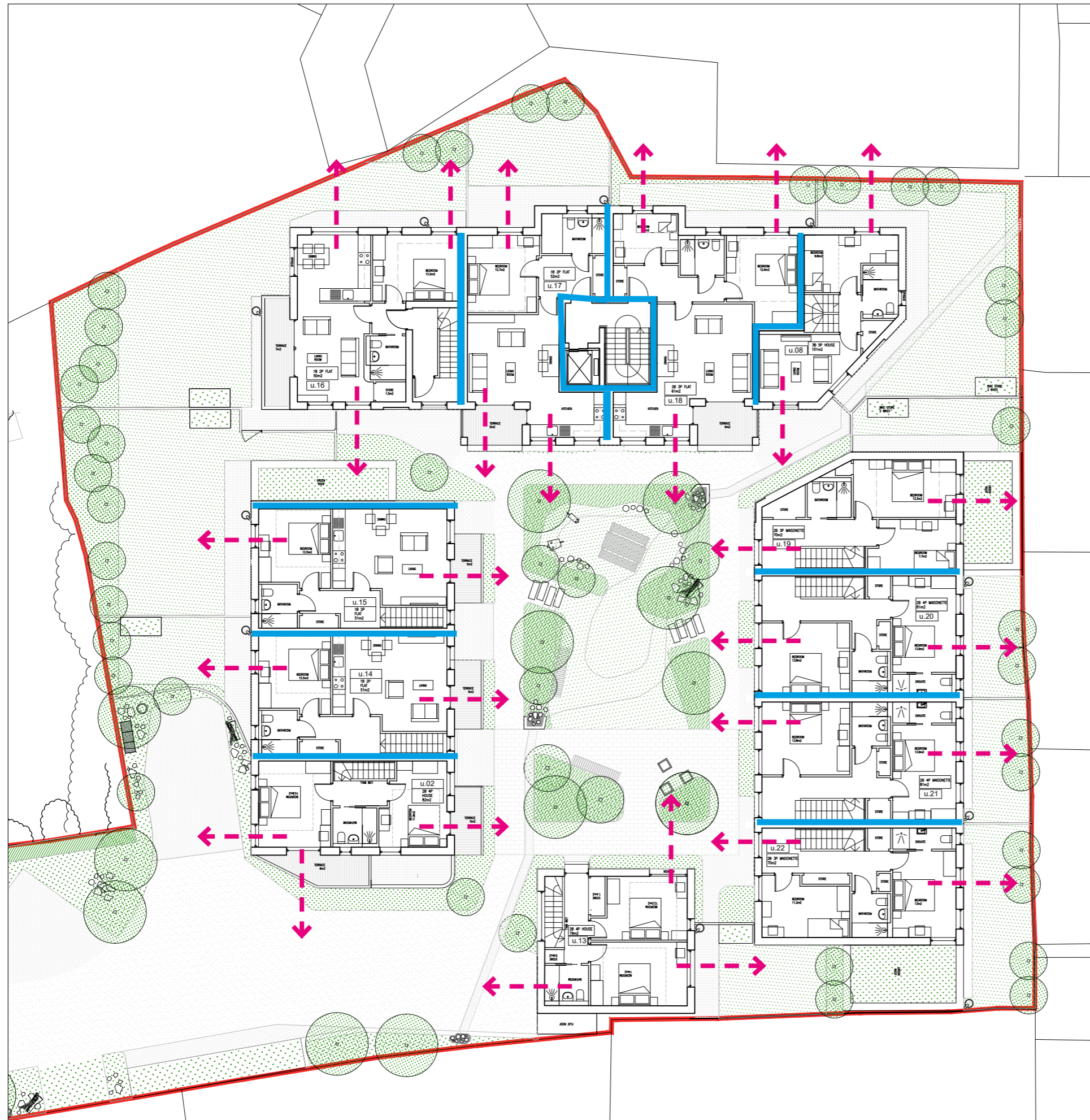
Because we have kept the footprint of the buildings relatively small we are able to keep the plan arrangement of the buildings relatively simple.

The first floor plan opposite is typical of the various floor plans. It shows the position of the party walls in blue and the various aspects of the proposed new dwellings.

Each dwelling is dual aspect and a good number of proposed dwellings are triple aspect. Therefore each new dwelling has a good level of daylight / sunlight and views while also keeping a good distance from existing surrounding dwellings.

--- --> Aspect / Views out from proposed dwelling

———— Party Wall Location



Proposed First Floor GA

## 4.11 Front Building :

We have designed a new house to sit at the front of the site. This is a 2 bed house with private rear garden space. The house is smaller than the existing house on the site.

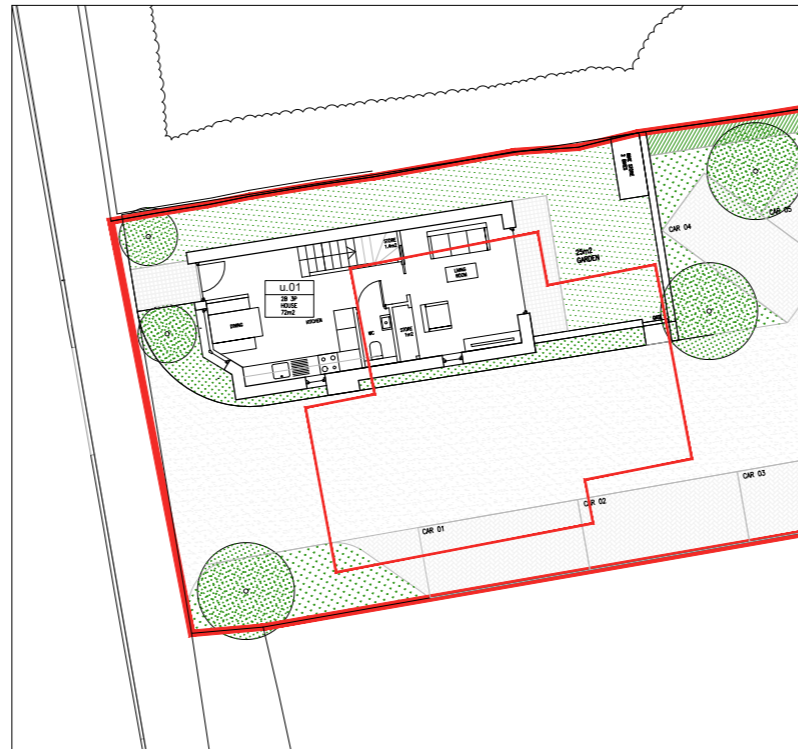
This building is designed to both sit well within the existing streetscape and provide a sense of enclosure to the mews. Access into the site is required for a refuse truck and fire appliance. We have tried to keep the open section of the elevation to a minimum.

The residential unit at the ground floor also provides an active frontage to the streetscape. The bay window projects slightly forward of the main building line.

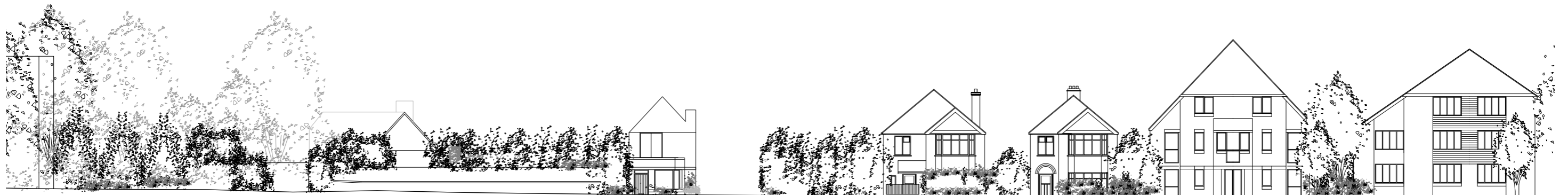
This new unit also helps to shield the parking area and hardstanding behind from the streetscape.

The new ridge height is aligned with the ridge height of the existing neighbouring house.

Ground Floor plan of the front building with the outline of the existing house in red.



Existing Long London Road Elevation



Proposed Long London Road Elevation

## 4.11 Front Building : Streetscape

The existing view along the street consists of a large amount of planting, hedges and trees. Although the housing along the street follows an approximate consistent building line due to the planting there is not a coherent street frontage.

The buildings range in height with two taller 3 storey + pitched roof flatted blocks slightly to the south of our site

Our new front building is smaller than the existing house and the same height as the neighbouring existing house.

The existing house has a gable facing the listed building while the new proposal has a roof that pitches away from the listed building, reducing the massing facing the cottage.



Proposed entrance to the site with the new front house and landscaping



Existing street view along the London Road frontage