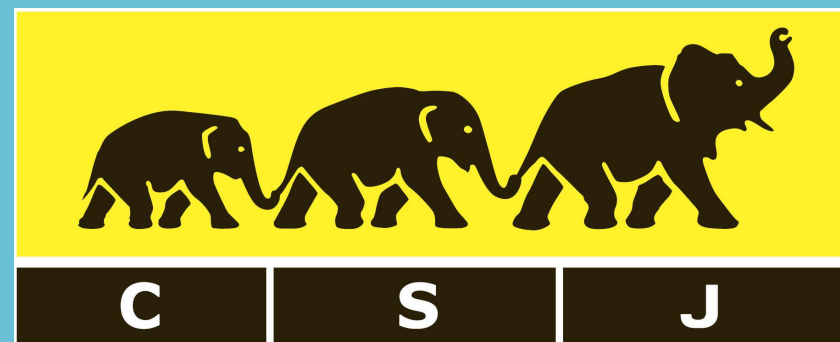


35 CRESCENT RD, CATERHAM CR3 6LE

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Planning Permission [ April 2025 ]



# CONTENTS

Site Introduction | CGI's

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Existing Site Plan

Proposed Site Plan

Proposed Floor Plans

Proposed Elevations

Existing and Proposed Streetscene

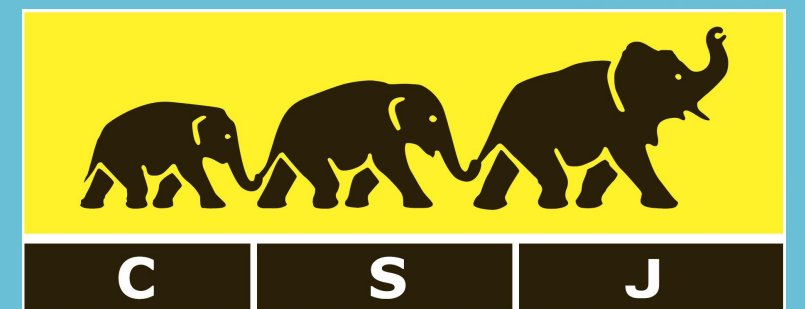
Existing and Proposed Sections

Proposed Landscaping

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Planning Conditions

Contact Details





# CGI'S

PLANNING permission granted on 3rd April 2025 for; Demolition of detached 4 bed dwelling and 2 bed annexe and erection of 4 no. 3 bed terrace dwellings with associated parking and landscaping.

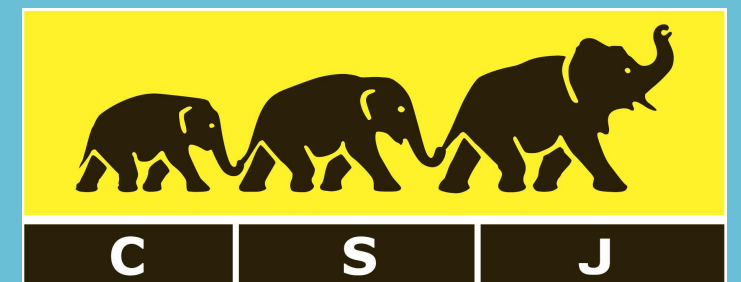
PROPOSAL includes 4 no. 3B/5P terrace houses (118sqm each, total 470sqm GIA), with 2 no. car parking spaces and private rear garden per dwelling.

SITE is located on a quiet road, behind Caterham Town Centre, only 3 mins walk from Caterham railway station (London Zone 6), in close proximity to ALL local facilities, including a childrens play area and common open space immediately opposite the site, with ancient woodland walks to the rear.



Site Address: 35 Crescent Road  
Caterham CR3 6LE

Planning Permission Ref:  
TA/2024/522







EXISTING SITE PLAN  
SCALE 1:100 @ A1



LOCATION PLAN  
SCALE 1:1250 @ A1





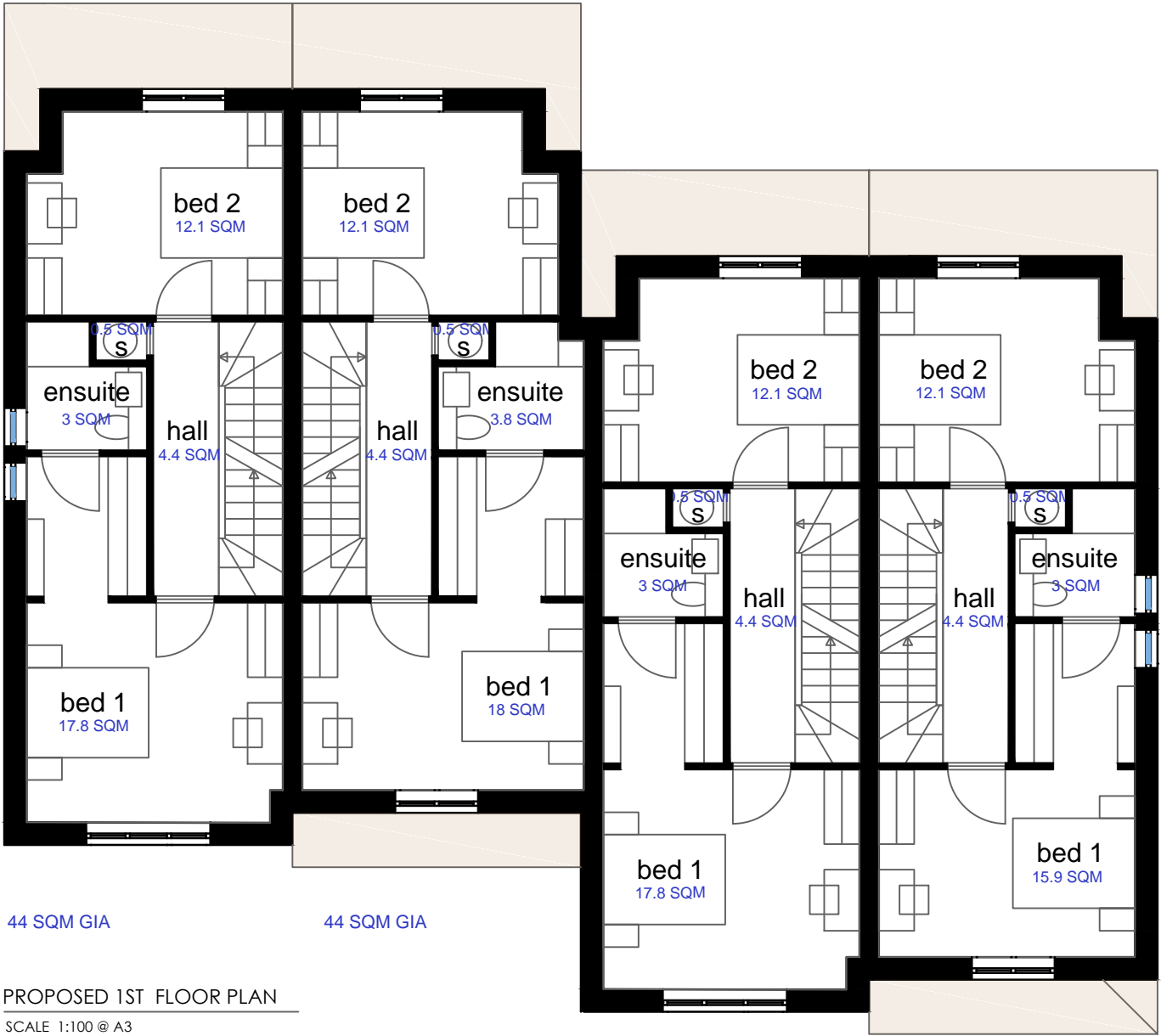




0 1 5M  
Scale 1:100 @ A3

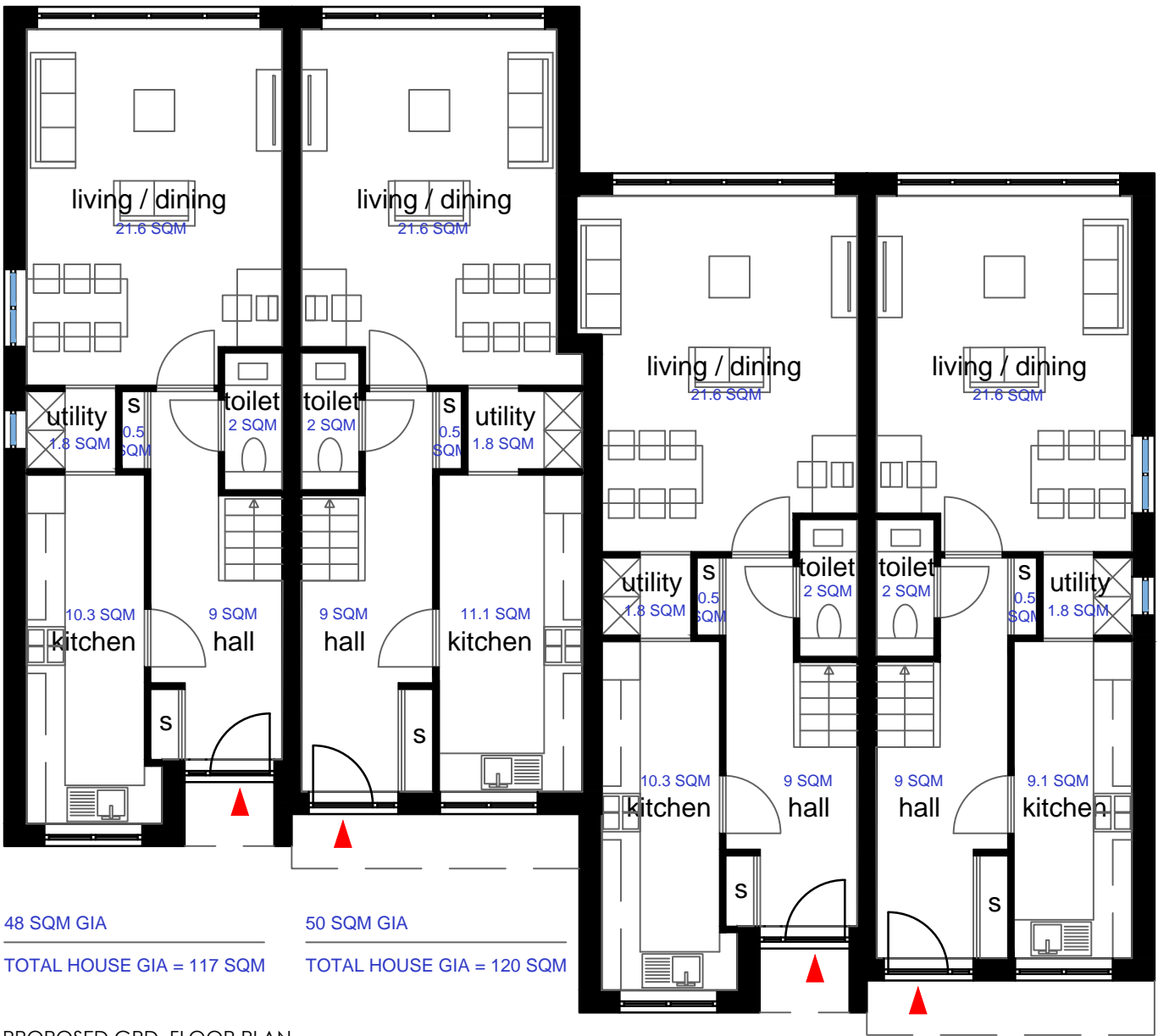
KEY

Up to 1700mm high Opaque flank window



PROPOSED 1ST FLOOR PLAN  
SCALE 1:100 @ A3

44 SQM GIA      42 SQM GIA



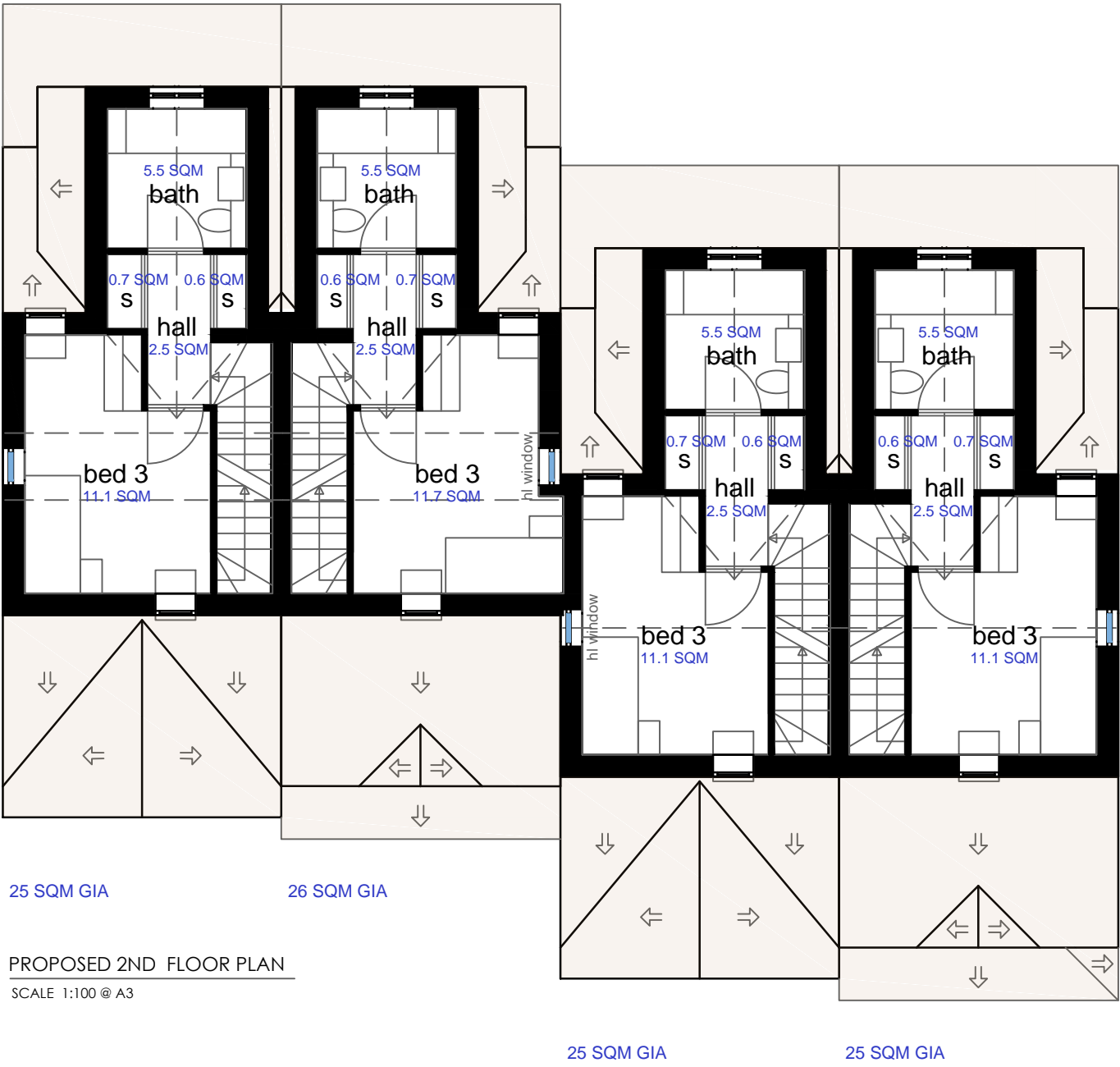
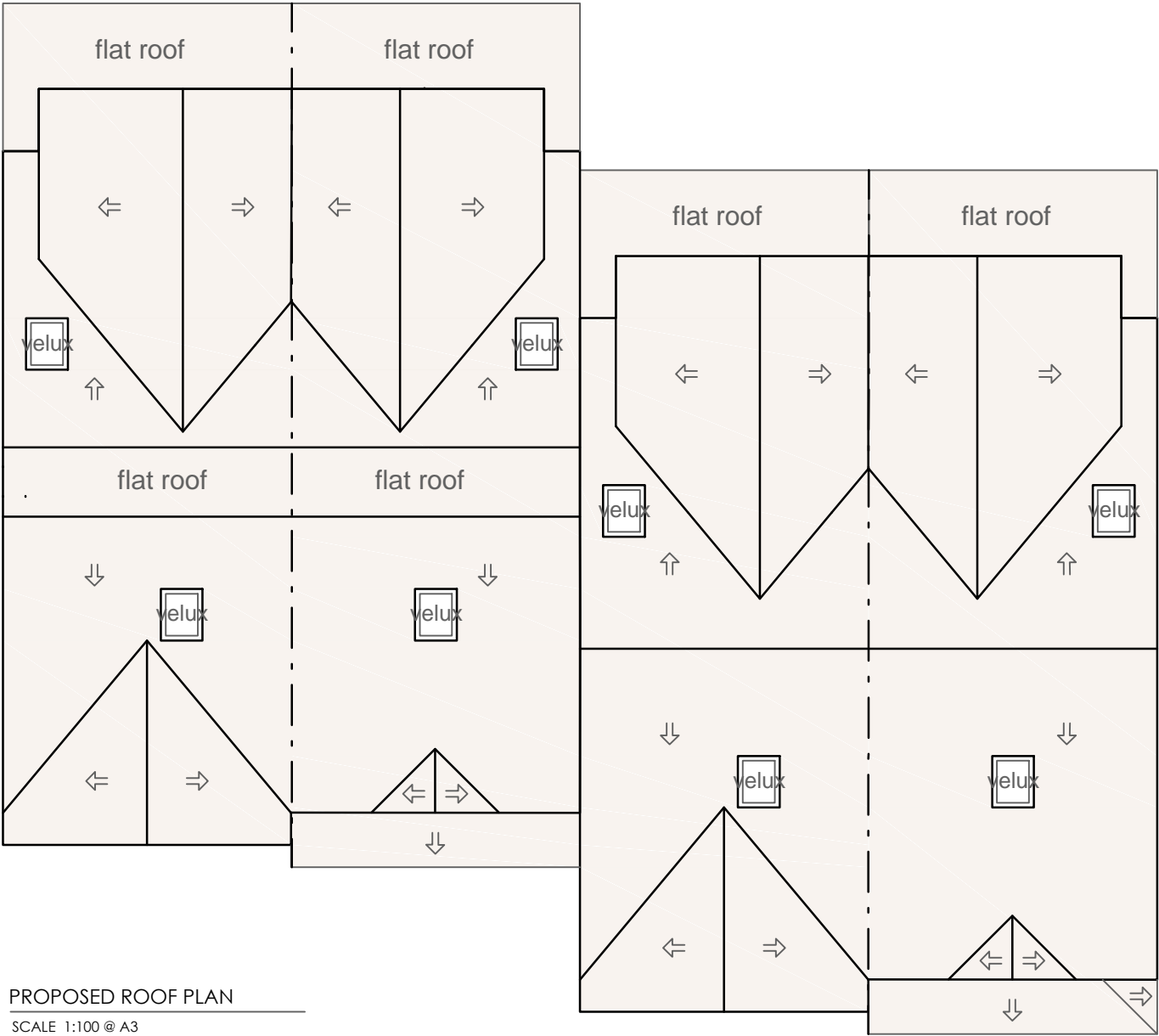
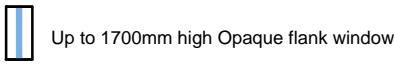
PROPOSED GRD FLOOR PLAN  
SCALE 1:100 @ A3

49 SQM GIA      48 SQM GIA  
TOTAL HOUSE GIA = 118 SQM      TOTAL HOUSE GIA = 115 SQM





KEY







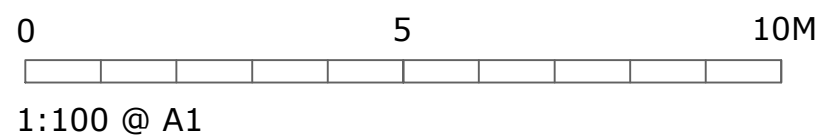
PROPOSED FRONT ELEVATION

SCALE 1:100 @ A1



PROPOSED RIGHT FLANK

SCALE 1:100 @ A1



- 1. All windows and doors - Aluminum framed Colour : WHITE
- 2. Roof Tile - Traditional interlocking Colour : RED
- 3. Red Facing Brickwork Colour : RED-MULTI
- 4. Hanging tile Colour : RED
- 5. Round section gutters & downpipes. Colour : DARK GREY



PROPOSED REAR ELEVATION

SCALE 1:100 @ A1



PROPOSED LEFT FLANK

SCALE 1:100 @ A1





All windows and doors - Aluminum framed  
Colour : WHITE

Roof Tile - Traditional interlocking  
Colour : DARK BROWN / RED

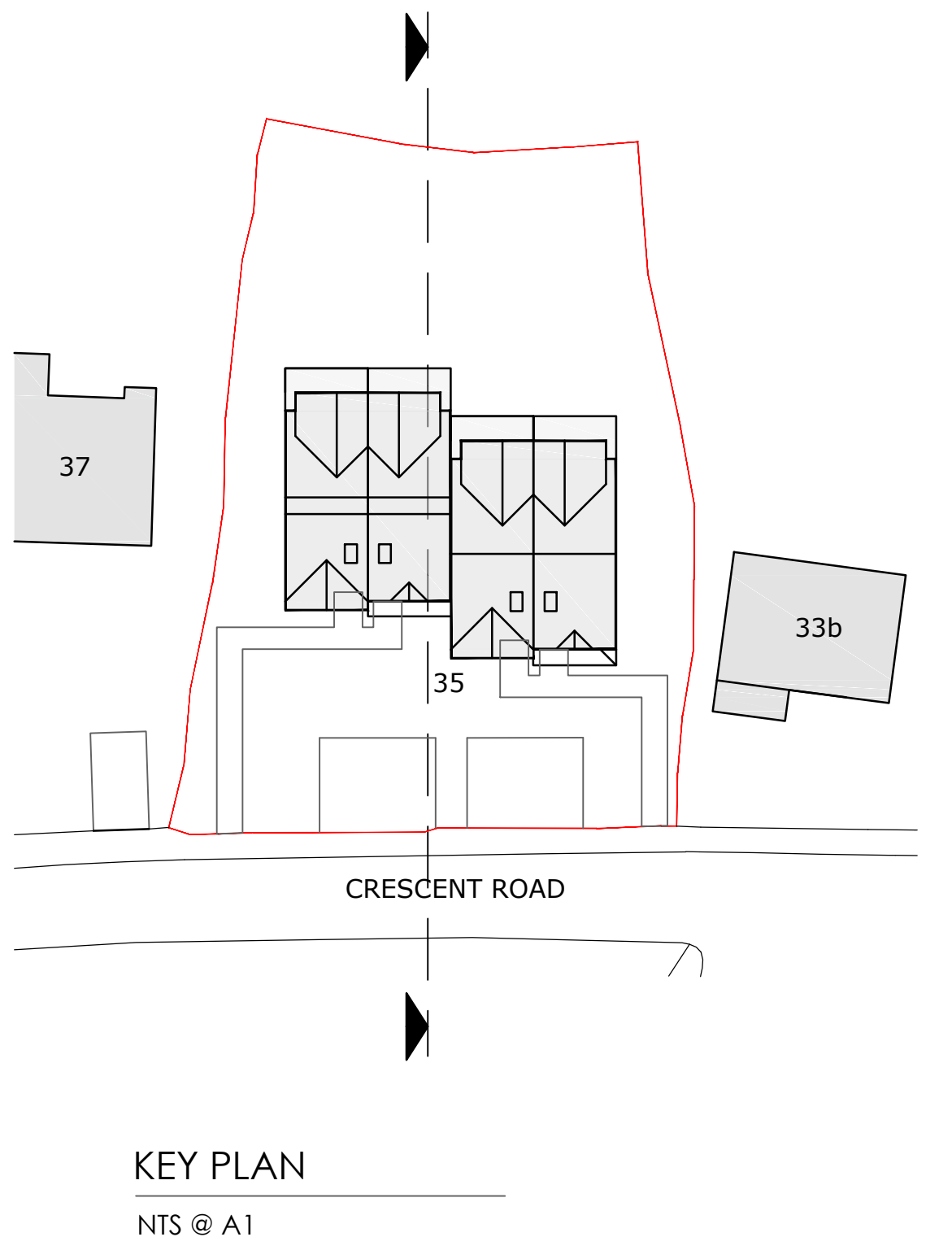
Red Facing Brickwork  
Colour : RED-MULTI

Brown Facing Brickwork  
Colour : BROWN/GREY/RED-MULTI

Round section gutters & downpipes.  
Colour : DARK GREY











Viburnum davidii



Ruscus aculeatus



Euphorbia wulfenii



Perowskia atriplicifolia  
'Blue Spire'



Cornus alba  
elegantissima



Caryopteris clandonensis  
Heavenly Blue



Hebe Marjorie



Skimmia japonica



Hebe White Gem



Ceanothus 'Blue mound'



Sarcococca humilis



Pittosporum 'Tom Thumb'

BED 1		
Cornus Alba Elegantissima	50-60cm	
Pittosporum 'Tom Thumb'	40-50cm	
Euphorbia wulfenii	40-50cm	

BED 2		
Hebe White Gem	50-60cm	
Ceanothus 'Blue Mound'	40-50cm	
Ruscus Ascleatus	50-60cm	

BED 3		
Caryopteris x clandonensis Heavenly Blue	50-60cm	
Skimmia Japonica	40-50cm	
Perowskia Atriplicifolia 'Blue Spire'	40-50cm	
Hebe White Gem	50-60cm	

BED 4		
Viburnum Davidii	50-60cm	
Ruscus Ascleatus	50-60cm	
Hebe Marjorie	30-40cm	

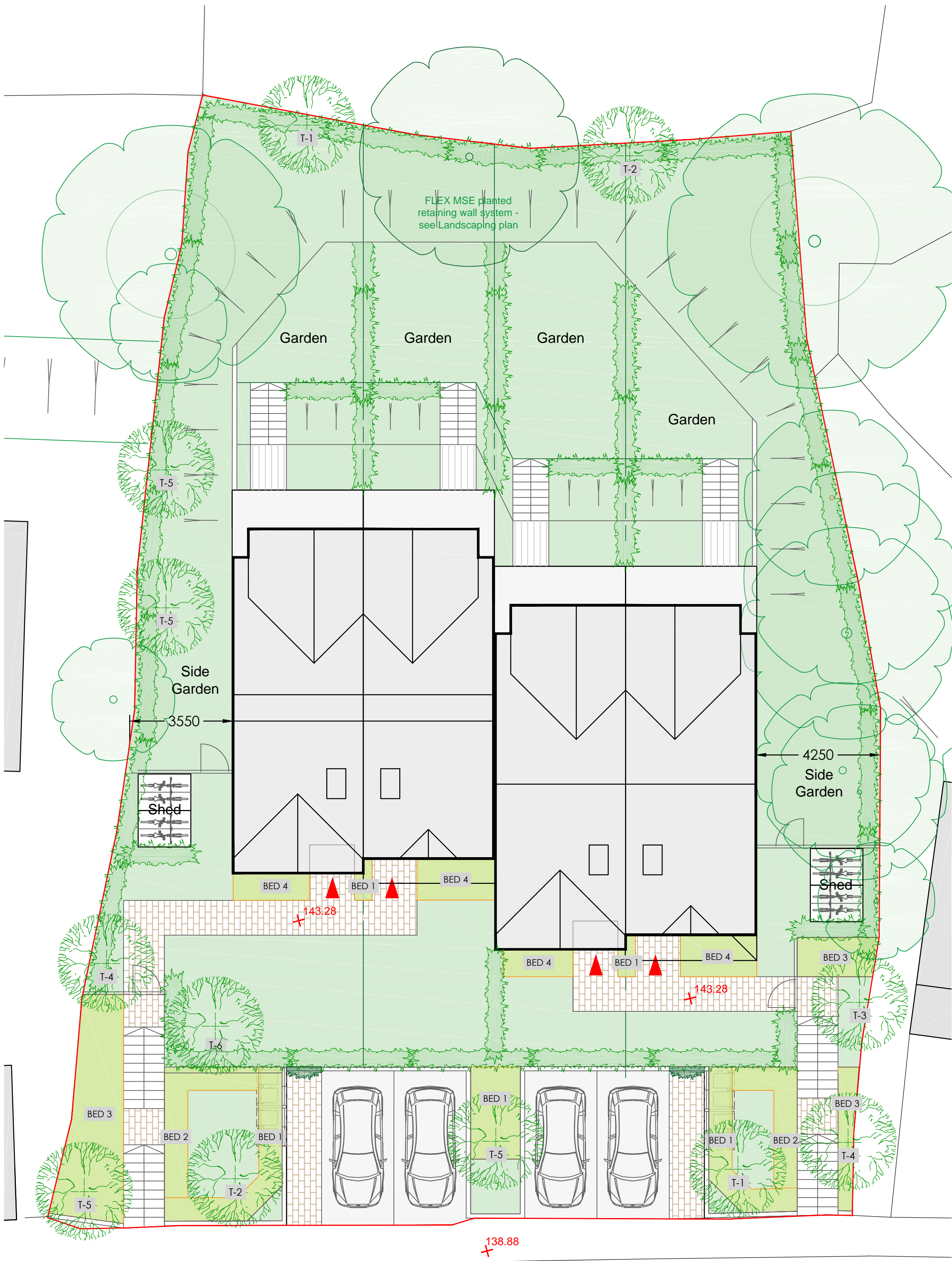


Carpinus Betulus 'Hornbeam' hedge



Lysimachia numularia Goldlocks  
(Creeping Jenny)

Hedge Schedule				
No.	Run	Species	Type	Height
H 1	146m	Carpinus Betulus 'Hornbeam' hedge	Half std	1.6-1.8m
	146m	Total hedge run		



Site Plan

CRESCENT ROAD

PROPOSED LANDSCAPING PLAN

SCALE 1:100 @ A1

Tree Schedule					
No.	Count	Species	Size	Type	Height
T 1	2	Prunus Avium 'Wild Cherry'	20-25cm	RB/CG	4.5 m
T 2	1	Carpinus betulus 'Frans Fontaine'	20-25cm	RB/CG	4.5 m
T 3	2	Betula Nigra 'River Birch'	25-30cm	RB/CG	5.5 m
T 4	1	Betula utilis 'Himalayan birch'	25-30cm	RB/CG	5.5 m
T 5	1	Acer palmatum 'Japanese Maple'	25-30cm	RB/CG	5.5 m
T 6	1	Liriodendron tulipifera 'Tulip tree'	20-25cm	RB/CG	4.5 m
	8	Total New Trees			



Betula nigra 'River birch'



Betula utilis 'Himalayan birch'



Liriodendron tulipifera 'Tulip tree'



Prunus avium 'Wild cherry'



Acer palmatum 'Japanese Maple'



Carpinus Betulus 'Frans Fontaine'



FLEX MSE vegetated wall system - CONSTRUCTION

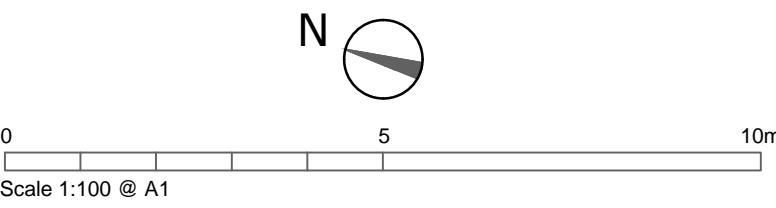


FLEX MSE vegetated wall system - PLANTED

KEY PLAN

- Porous, Brett Alpha Flow concrete block pavers - dark grey
- Porous, Surrey hard fired clay brick pavers
- Porous, Smooth sandstone plank paving
- Planting Beds - See soft landscaping
- Grass
- Hanging plants, "Creeping Jenny"

Materials Palette: A robust & aesthetically pleasing suite of wood, stone and porous paving products



A	10/9/24	DC	parking bays extended to be min of 5.2m in length
REV	DATE	BY	CHK

NOTES  
COPYRIGHT: THE CONTENTS OF THIS DRAWING MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF DAVID CICCONE. | ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR BEFORE FABRICATION. | WHERE DISCREPANCY OCCURS BETWEEN SPECIFICATION AND DRAWINGS THEN DAVID CICCONE MUST BE NOTIFIED IMMEDIATELY.

PLANNING



# PLANNING CONDITIONS

**Planning Permission TA/2024/522** was granted by Tandridge Council on 3rd April 2025 for: Demolition of detached 4 bed dwelling and 2 bed annexe and erection of 4 no. 3 bed terrace dwellings, with associated parking and hard and soft landscaping etc

**At 35 Crescent Road, Caterham, Surrey, CR3 6LE**

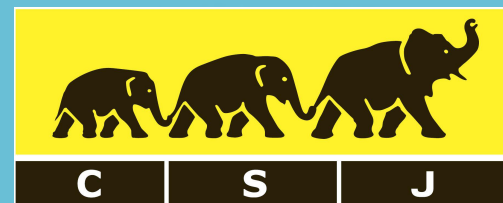
**subject to the following CONDITIONS (summarised): -**

1. (IMPLEMENTATION) The development hereby permitted shall start not later than the expiration of 3 years from the date of this permission.
  2. (DRAWINGS) The development shall be carried out in accordance with these approved drawings. There shall be no variations from these drawings.
  3. (LANDSCAPING) No development shall start above ground level until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved.
  4. (TREES) No development shall start until a Tree Protection Plan and Arboricultural Method Statement, relating to all stages of development, for the protection of all trees and hedges to be retained on site or trees located offsite within 12 metres of the site boundary, has been submitted to and approved in writing by the Local Planning Authority.
  5. (MATERIALS) No development shall start above ground level until details of the materials to be used in the construction of the external surfaces of the dwellings hereby permitted have been submitted to and approved in writing by the Local Planning Authority.
  6. (HARDSTANDING) The access and parking area hereby approved shall be constructed with a bound surface material for at least the first 5.5 metres back from the edge of the public highway.
  7. (ELEC CHARGING) The development hereby approved shall not be occupied unless and until the proposed dwellings are provided with a fast charge socket.
  8. (CYCLES) The development hereby approved shall not be first occupied unless and until facilities for the secure, covered parking of bicycles and the provision of a charging point for e-bikes by said facilities have been provided within the development site.
  9. (DRAINAGE) The drainage system shall be installed in accordance with the SuDS Drainage Strategy Report, Prop Landscaping Plan & Prop Drainage Plan.
  10. (ECOLOGY) The development hereby permitted shall be carried out in accordance with the recommendations and mitigation measures set out in Preliminary Ecological Appraisal dated the 1st May 2024.
  11. (BNG) Prior to the commencement of development, a Biodiversity Gain Plan shall be prepared in accordance with the preliminary ecological assessment dated the 1st May 2024 prepared by Crossman Associates, the Small Sites Metric Rev C dated March 2025, the Proposed Landscaping Plan and 'SWT Biodiversity Net Gain & Comments, Agent comments' dated 27th November 2024, and shall be submitted to and approved in writing by the LPA.
  12. (HABITAT HMMP) Prior to the commencement of development a Habitat Management and Monitoring Plan detailing how the land will be managed over at least 30 years, prepared in accordance with the approved Biodiversity Gain Plan, shall be submitted to and approved in writing by the LPA.
  13. (NOTICE) Notice in writing shall be given to the Council when the: HMMP has been implemented in accordance that approved under condition 11; and habitat creation and enhancement work as set out in the HMMP has been completed.
  14. (CARBON REDUCTIONS) No development shall start above ground level until details demonstrating how the development would satisfy the 10% reduction of carbon emissions through renewable resources have been submitted to and approved in writing by the Local Planning Authority.
  15. (WINDOWS) The first floor and second floor flank windows shall be fitted with obscure glass (Pilkington Glass level 3 or above, or equivalent) and shall be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
  16. (ENLARGEMENT) Notwithstanding the provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification) no form of enlargement of the dwelling(s) hereby permitted under Classes A, B and/or C shall be carried out without the express permission of the Local Planning Authority.
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# CONTACT

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020 8296 1270 / [developments@csj.eu.com](mailto:developments@csj.eu.com)

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