

152-154 Queens Road,  
Queens Road Place,  
London, SW19 8LX

01. 2024

## Basement Impact Assessment

**23111-QRP-ST-R-100\_01**

**HA-EY**

# Control Sheet

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<b>Client</b>	<b>Sanford Developments</b>
<b>Project Number</b>	<b>23111</b>
<b>Report Title</b>	<b>Basement Impact Assessment</b>
<b>Project Reference</b>	<b>152- 154 Queen's Road, SW19 8LX</b>
<b>Document Number</b>	<b>23111-QRP-ST-R-100_01</b>
<b>Status</b>	<b>For Planning</b>

## Issue & Approval Schedule

	<b>Prepared By</b>	<b>Checked By</b>	<b>Approved By</b>
<b>Name</b>	<b>Mr J Eyles</b> MEng hons	<b>MR S Hanlon</b> MSc CEng MIStructE	<b>Mr J Eyles</b> MEng hons
<b>Signature</b>			
<b>Date</b>	<b>19 Jan 24</b>	<b>25 Jan 24</b>	<b>30 Jan 24</b>

Where Design Supervision Level (DSL) = DSL2, in accordance with EC0, Annex B.

## Revision Record

<b>Revision</b>	<b>23111-QRP-ST-R-100_01</b>		
<b>Name</b>	<b>Mr J Eyles</b>		
<b>Description</b>	<b>Updated as per Moll Architect planning updates</b>		
<b>Signature</b>			
<b>Date</b>	<b>22 Mar 24</b>		

# 1 Introduction

- 1.0.1 HA-EY Ltd (Harriott-Eyles Ltd) has been appointed by the Client as Consulting Structural Engineers to prepare a Basement Impact Assessment in support of the proposed planning application with Moll Architects, to create three new residential dwellings at 152 - 154 Queens Road, Wimbledon, SW19 8LX.
- 1.0.2 This Basement Impact Assessment has been prepared in accordance with Merton Basement and Subterranean Planning Guidance, Supplementary Planning Document (9), March 2017.
- 1.0.3 This report has been prepared by Joseph Eyles MEng (hons) and Sean Hanlon BEng MSc CEng MIStructE a Chartered Structural Engineer, both authors each have over 14 years experience working with existing structures and basements.
- 1.0.4 This report sets out the design philosophy for the proposed works. It should be read in conjunction with all planning stage drawings.
- 1.0.5 This Basement Impact Assessment is intended to demonstrate that the works can be carried out safely and without inappropriate hazard to the existing structure or surrounding neighbouring property.
- 1.0.6 Once appointed the Contractor will abide by this Basement Impact Assessment and assume responsibility for the method and sequence of works. Any deviations from the Structural Method Statement will be proposed by the Contractor and submitted to the Party Wall Surveyor, Architect and the Engineer for comment at least two weeks before work starts.
- 1.0.7 Furthermore, it is assumed that the contractor appointed to carry out the works will have suitable and relevant experience in basement construction within the Greater London area.

## 2 Existing Site

- 2.0.1 The site is set back from Queens Road, adjacent to the railway line and is accessed from Queens Road via an existing access road.
- 2.0.2 The site lies around National Grid Reference TQ 25813 71102. The land falls from west to east and is relatively flat at approximately 17.3 - 17.5mAOD (Above Ordnance Datum). The railway forms the northern boundary to the site and runs at a lower level.
- 2.0.3 There are a number of trees present in the vicinity to the north of the proposed structures. Moisture deficiency is present within the near surface soils at depth of 1.5m and 2m. Hence, pile foundations will have to be located within moisture stable soils at a depth of 2.5m. Soils are therefore of high shrinkage potential.
- 2.0.4 The overall depth of excavation is intended to be 1.7 m below existing ground levels.

### 2.1 The Proposed Works

- 2.1.1 The Client proposes to construct a terrace of three new four storey houses

following demolition of the existing motor garages.

- 2.1.2 The top floors of the south facade are set back with a staggered north facade from first - top floor with projecting balconies at first and second floor along both façades.
- 2.1.3 Floor plans are orientated around a central circulation core with clear voids from ground - top floor.
- 2.1.4 Trial holes to review the form, depth and condition of any existing foundations is to be undertaken prior to the commencement of works with a review and inspection undertaken by the appointed SE.
- 2.1.5 New semi-basement ground floor is to be formed as basement box with RC retaining walls. Primary structural line are supported by Piling and an RC ground beam.
- 2.1.6 The new basement is Grade 3 Habitable. Two lines of protection are to be employed, in the form of a drained cavity with Sump pump and either integral waterproof concrete additive or waterproof render. For Stage 3 a SIKA System have been specified and relevant details included but final system is to be fully co-ordinated at Stage 4.
- 2.1.7 Ground floor slabs are formed as a Ground bearing reinforced slab, due to the risk of elastic rebound a collapsible filler may be employed below the cast slab.
- 2.1.8 Super structure is formed as Steel Frame, braced in one direction within party walls and designed as a moment frame in the perpendicular direction where cross walls are not present in the design. Floors are generally timber joists spanning within beam depths.
- 2.1.9 Damage criteria is to be limited to a maximum of Category 2 as set out in the Construction Industry Research and Information Association (CIRIA) Report 580 'Embedded Retaining Walls' .

## 2.2 Site Ground Conditions / Geology

- 2.2.1 A site specific investigation has been undertaken, 12498-SI-REPORT-Queens-Road-Wimbledon-05-01-2023 has been used for the purpose of this BIA and to inform Stage 3 Design, refer to document for further detail.
- 2.2.2 The British Geological Survey Maps were accessed to gain an understanding of the geological properties of the site. The maps indicate the site is founded on London Clay formations of Eocene age, which is generally comprised of silts and clays and of known technical properties. Superficial deposits comprising Head of recent or Quaternary age are noted to overlie the London Clay Formation to the north and south.
- 2.2.3 The survey maps were then cross referenced against the nearest Borehole logs held by the BGS to the site, specifically borehole logs within 150m of the site location. The borehole records indicate that concrete or macadam are present at surface at the investigatory locations which extend to depths of between 0.1m and 0.2m.



- 2.2.4 Made ground varying from dark grey clinker/ash/sand to dark grey/brown silty clay were encountered upon penetration of the surface layer and were shown to extend to depths of between 0.6m and 0.9m.
- 2.2.5 Grey organic silty clay which oxidises to a brown colouration on exposure was observed beneath the made ground in borehole 3 and extends to 1.50m. The geological origin of this soil is unclear.
- 2.2.6 Brown silty clay with grey veining, typical of the weathered zone of the London Clay
- 2.2.7 Formation, was present below the made ground and organic soils and was proved to the full depth of this investigation at 3.1m and 4.1m.
- 2.2.8 The allowable bearing pressure for the purpose of this document has been taken as 120 kN/m<sup>2</sup> at the founding level of the proposed basement slab, which assumes a conservative approach.
- 2.2.9 During the construction of the exploratory positions groundwater strikes were encountered at 2.6m and 3m, with the exception of borehole 1 which remained dry throughout. Short term standing water levels upon completion of boreholes 2 to 5 of between 2.6m and 3.5m were recorded.
- 2.2.10 The site is located on a level site on generally level ground and not cut into the side of hills or valleys and therefore slope instability is not a design consideration.

## 2.3 Site Hydrology

- 2.3.1 A detailed flood risk assessment has been undertaken by RMB Consultants (Civil Engineering) Ltd. The site lies within Flood Zone 1 and therefore residential development is appropriate. Zone 1 Low Probability - land assessed as having a less than 1 in 1000 annual probability of river or sea flooding in any year (<0.1%).

## 2.4 Underground Infrastructure

- 2.4.1 The site is served by public foul and surface water sewers. Any water breaking the surface from these sewers would flow west to east along Queens Road and is unlikely to affect the site.
- 2.4.2 Intrusive investigation to be undertaken to establish utility location (including electrics and telecommunications) and confirm ground conditions prior to excavation works beginning on site.
- 2.4.3 Thames Water are to be engaged as part of a New Connections Agreement at the next stage of works.
- 2.4.4 There are no ponds, streams, or other surface water features on or immediately adjacent to site and the risk of flooding following infrastructure failure at the site is low.
- 2.4.5 The depth of the proposed excavation will not create ground water movement problems elsewhere as evidenced by the prevailing ground conditions likely to be encountered.
- 2.4.6 The excavation of stiff clay needs to be considered given the elastic rebound of the exposed strata and the effect on the ground bearing slab in designing

suitable reinforcement to contain these forces.

## 2.5 Archaeology

2.5.1 A review of MOLA maps has not identified the site as being within an area of archaeological interest (archaeological priority areas and scheduled monuments).

## 2.6 Listed Buildings

2.6.1 No listed buildings have been identified within an area affected by the basement works.

# 3 Construction Management Statement

## 3.1 General Site Works

3.1.1 Once the site can be established welfare facilities should be set up and hoarding erected with site frontage.

3.1.2 Prior to commencement of works, all services are to be located and examine on site, such as gas, electricity, water and drainage runs. All live services to be marked or made safe by a suitably qualified person.

3.1.3 Establish the location of the existing foundations, underground drains and any other obstruction or service runs. The Structural Engineer is to be advised of any details which conflict with issued drawings.

3.1.4 Hoardings are to be a maximum of 2.4m high and to be painted.

3.1.5 Spoils arising from the works will be removed by conveyor, or by hand, bagged from the working area and deposited within a roadside skip.

3.1.6 Pavements and roadside kerbs will be cleaned on a daily basis at the end of each shift or as and when required.

3.1.7 Temporary water supply and electrical services are to be provided to the working area.

3.1.8 All dust levels are to be kept to a minimum and where possible controlled at source by the use of dust suppression systems. Site operatives are to wear suitable PPE/RPE where the levels of dust cannot be controlled ensuring exposure is well within legal limits.

3.1.9 The contractor will consult with adjoining neighbours and agree, if possible, certain times of day when noisy work is minimized.

3.1.10 All works will be undertaken as per local authority guidelines and as agreed within all Party Wall Awards.

## 3.2 Basement Works

3.2.1 At all stages of construction, the works will be inspected and approved by the

District Surveyor Building Control.

- 3.2.2 All site activities will adhere completely with current Health and Safety Executive guidelines and rulings plus CDM 2015 regulations.
- 3.2.3 All works carried out will be in accordance with the latest British Standards, Building Regulations & in accordance with all Party Wall agreements.
- 3.2.4 All statutory services, drainage pipes/culverts etc. will be located prior to any excavation works taking place.

### 3.3 Temporary Works – Outline Sequence of Work for Basement Formation.

3.3.1 See drawing 23111-QRP-S-055 and supporting plan for sequence of work.

3.3.2 The following method statement is intended to inform the Main and Temporary Works Contractor. A detailed method statement and ground monitoring plan is to be submitted for review by the Appointed Structural Engineer and Temporary Works Co-Ordinator in line with CDM 2015 regulations, prior to the commencement of Sub Structure Works.

- Step 1 - Steel Sheet Piling installed with low impact driving to minimise impact on adjacent structures and services and retaining level in the temporary case.
- Step 2 - CFA piling installed from current ground level. An allowance to be made for suitable compacted piling mat as per Piling Contractor Requirements
- Step 3 - Horizontal Waling beam installed to restrain sheet piles, cast concrete pad footings installed at raking prop locations
- Step 4 - CFA piles cut down to ground beam formation level and ground prepared for Permanent Works
- Step 5 - Permanent Works Reinforced Ground Beam and Reinforced Retaining Wall installed
- Step 6 - Temporary works uninstalled, leaving sacrificial pads and sheet piles. If these are removed, this is to be undertaken in stages by the Temporary Works Contractor and any voids filled with suitable fill to prevent long term ground movement. Super Structure works to then proceed.

3.3.3 Where required to counter the effects of Sub Soil Elastic rebound and collapse-able filler may be installed beneath ground bearing slabs (outside of retaining wall zone) The Contractor is to be responsible for the accurate construction of the works according to the true intent of the Engineer's drawings and this specification.

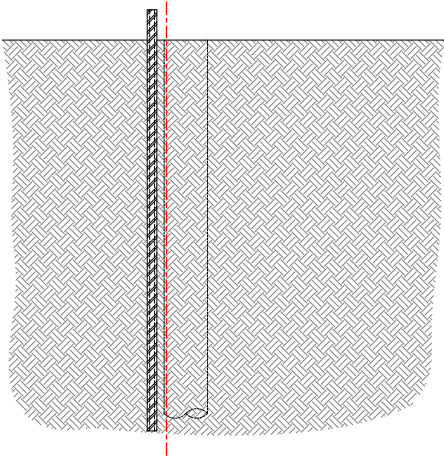
3.3.4 The Contractor is to consider the need for any temporary works required to ensure the stability of the walls underpinned and provide any needling, dead shoring, propping etc. as may be appropriate.

3.3.5 The excavation works are to be undertaken carefully so that any existing adjacent footings are not disturbed. Excavations are to be temporarily supported as necessary.

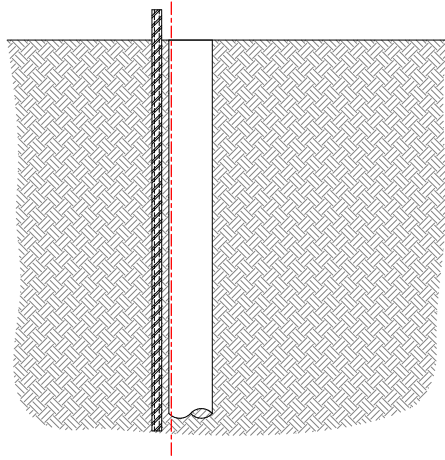
3.3.6 If water is encountered in excavation the Contractor is to provide sumps, grips and pumps as necessary to keep the excavations free from water always.

3.3.7 Retaining Walls are to be fully cured to 28 day strength prior to the removal of Temporary

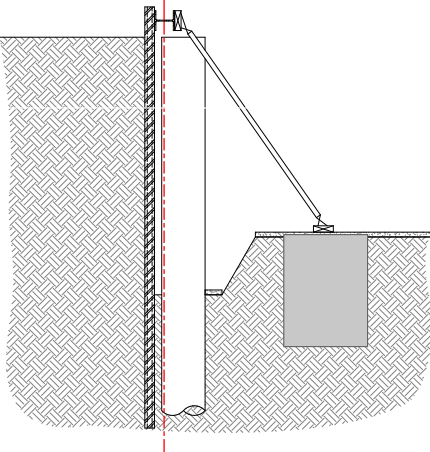
3.3.8 Props unless reviewed and agreed by the Structural Engineer as part of a Phased Plan of Work.



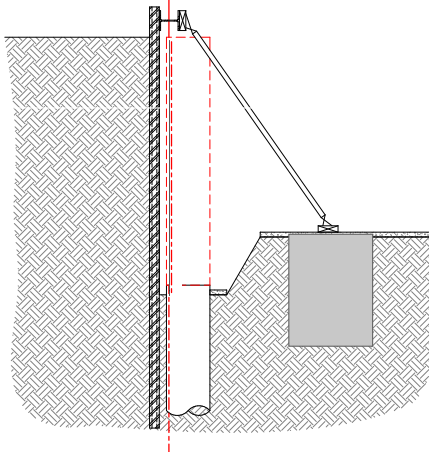
Step 1 - Steel Sheet Piling



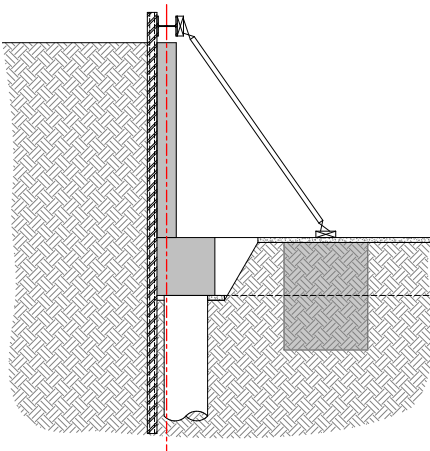
Step 2 - CFA piling installed



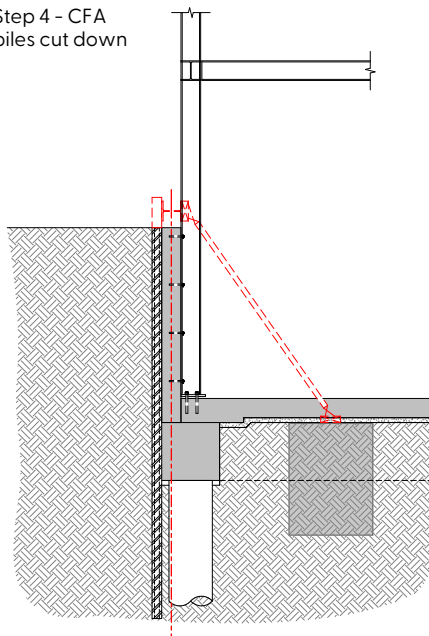
Step 3 - Horizontal Waling Beams and Raking Props Installed



Step 4 - CFA piles cut down



Step 5 - Reinforced Ground Beam and Reinforced Retaining Wall installed



Step 6 - Temporary works uninstalled, leaving sacrificial pads and sheet piles. Super Structure works to then proceed.

# Appendix A - Basement Drawings

Outline Structural Engineering intent drawings for Stage 3 Design Development and support to Planning.

Scheme to be co-ordinated with Piling Specialist, Party Wall matters and following site investigations should these be required.

Details to be confirmed on site by the Contractor at the next Stage of Work.



**NOTES**  
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 SE = STRUCTURAL ENGINEER  
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 TW = TEMPORARY WORKS. THE NOTED AREAS ARE WHERE TEMPORARY WORKS ARE EXPECTED. THE CONTRACTOR IS TO REVIEW IN RELATION TO WORKING PRACTICES AND SECURING.  
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**STAGE 3 DESIGN INTENT**  
 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY. FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING.

REV.	DESCRIPTION	DATE
P01	STAGE 3 - PLANNING	31 / 01 / 2024

STATUS	PURPOSE OF ISSUE
S2	STAGE 3



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PROJECT:  
**Queen's Road  
 Wimbledon, London**

TITLE:  
**CMS  
 SEQUENCE OF WORKS**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JAN 24
SCALE (@ A1) 1 : 20		PROJECT NUMBER: 23111	
DRAWING NUMBER: 23111 -QRP- S-055			REV P01

**Temporary Works - Outline Sequence of Work for Basement Formation.**  
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**Step 5 - Permanent Works Reinforced Ground Beam and Reinforced Retaining Wall installed**

**Step 6 - Temporary works uninstalled, leaving sacrificial pads and sheet piles. If these are removed, this is to be undertaken in stages by the Temporary Works Contractor and any voids filled with suitable fill to prevent long term ground movement. Super Structure works to then proceed.**

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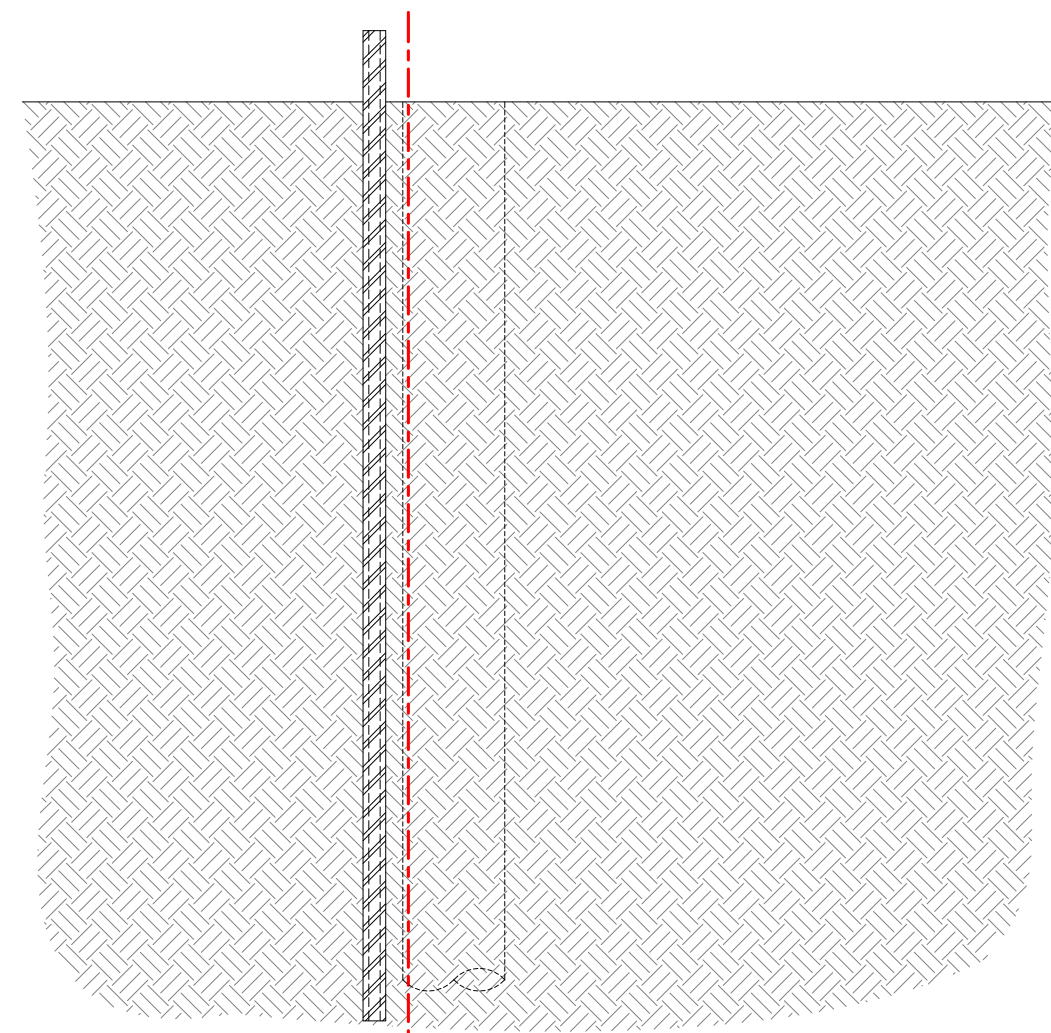
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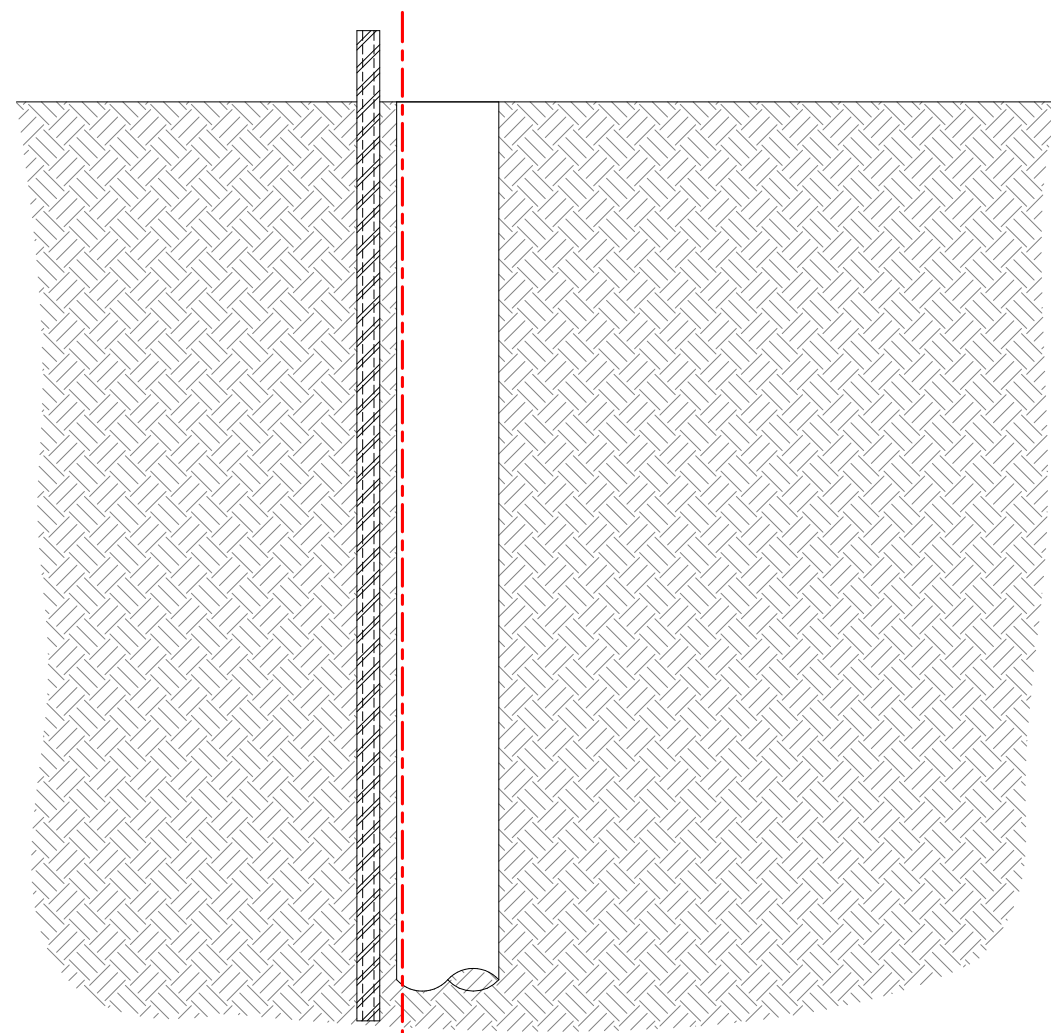
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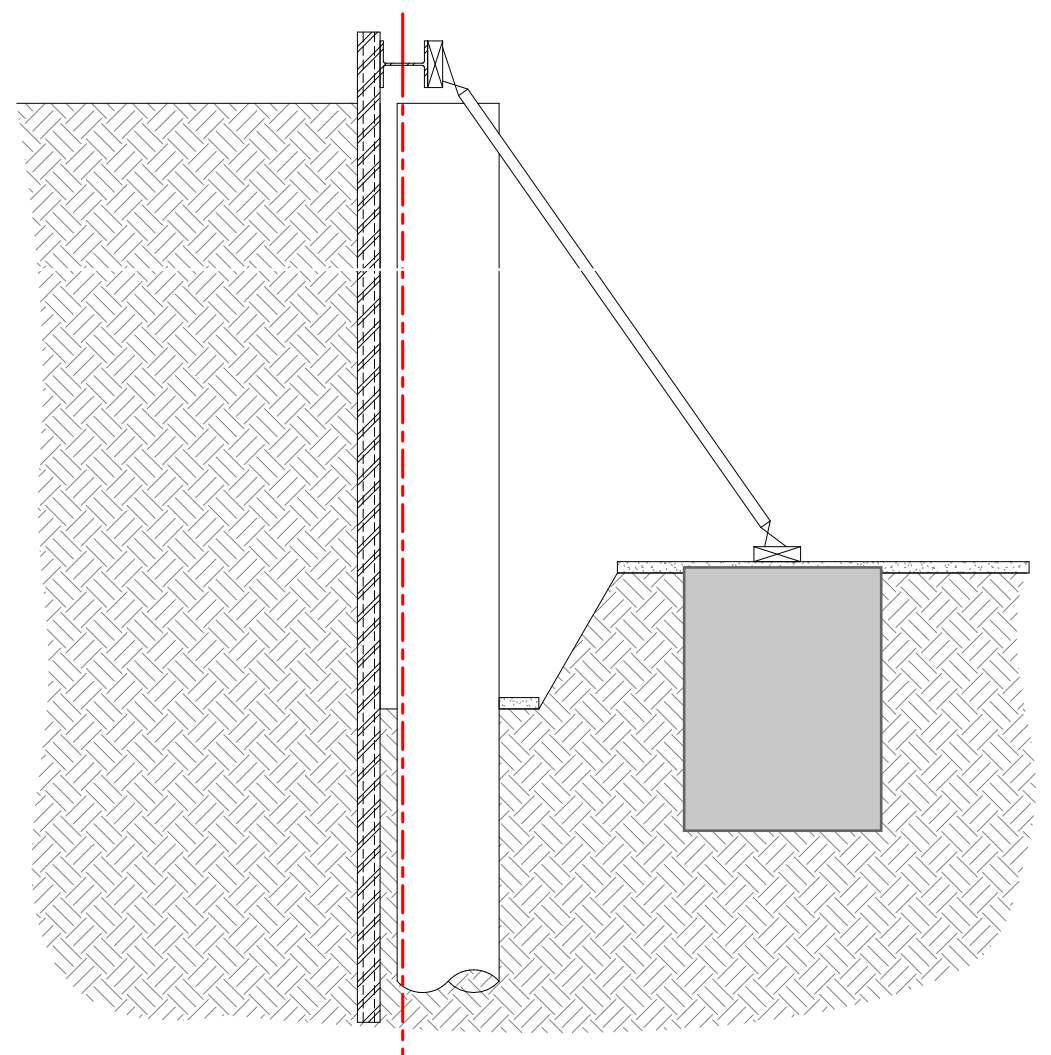
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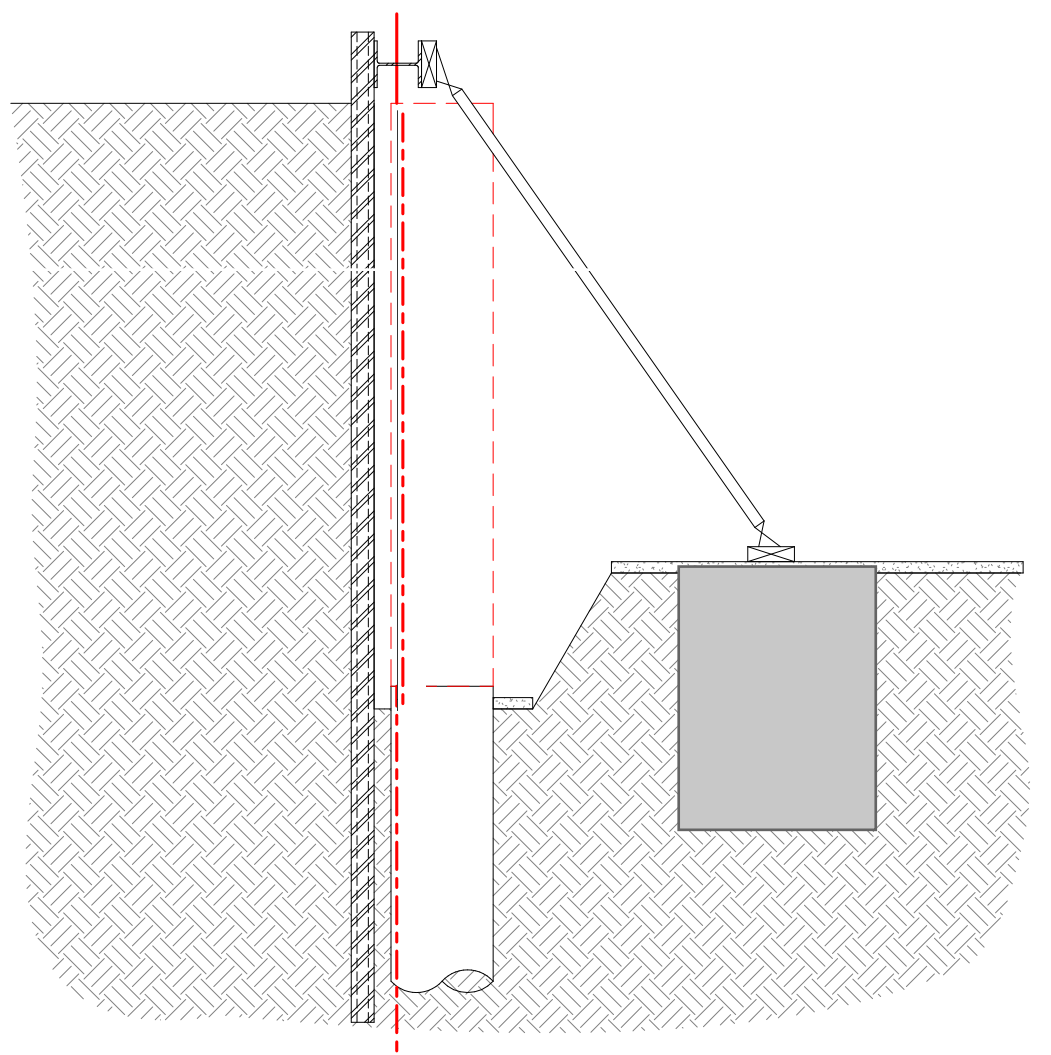
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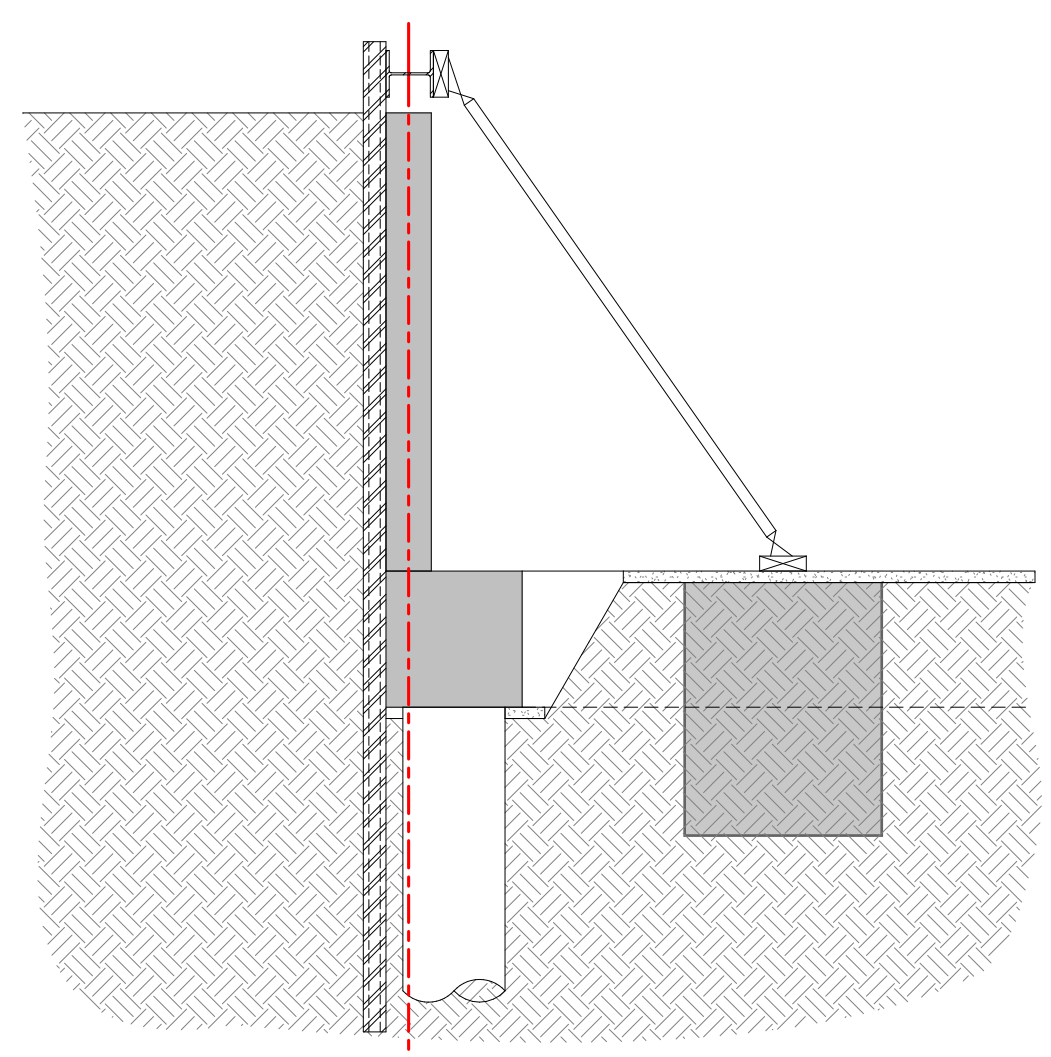
Step 2 - CFA piling installed



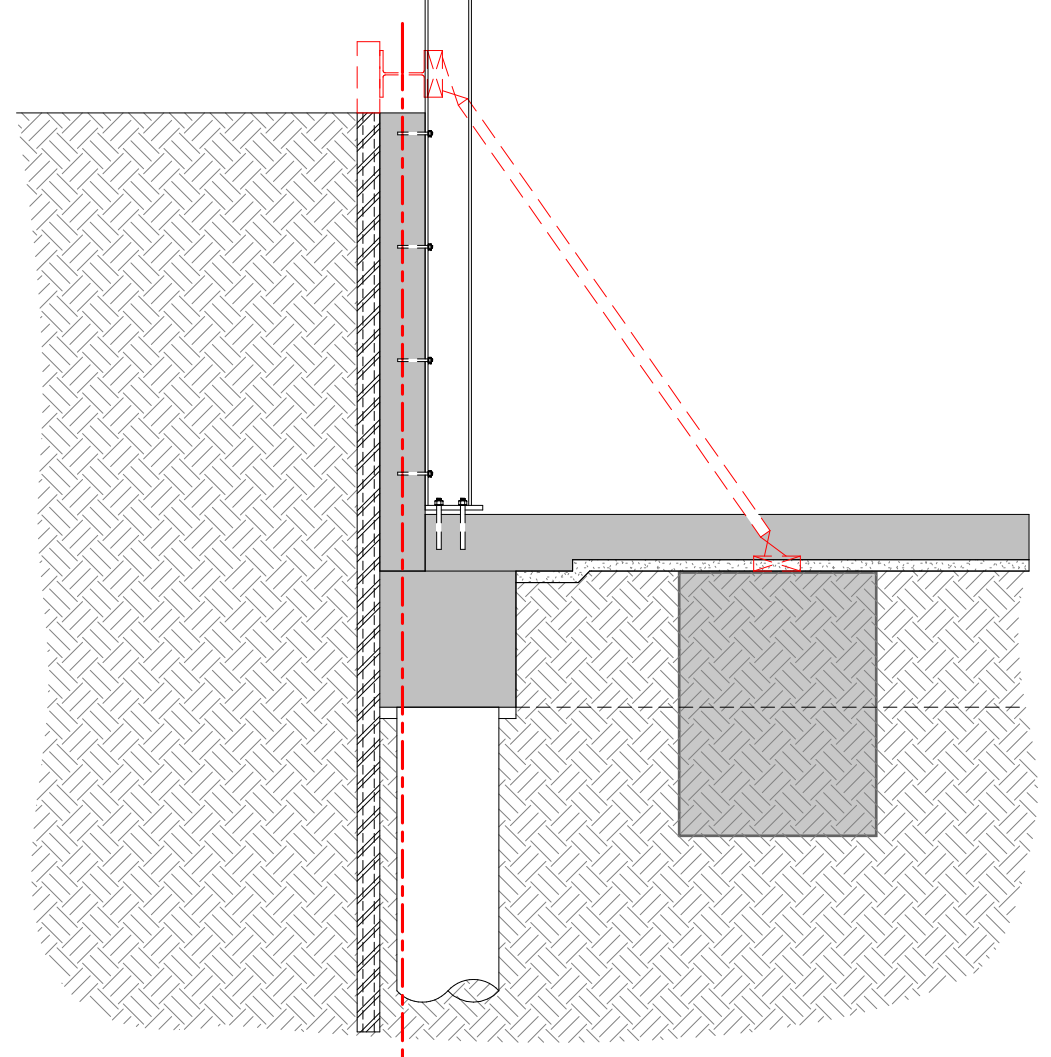
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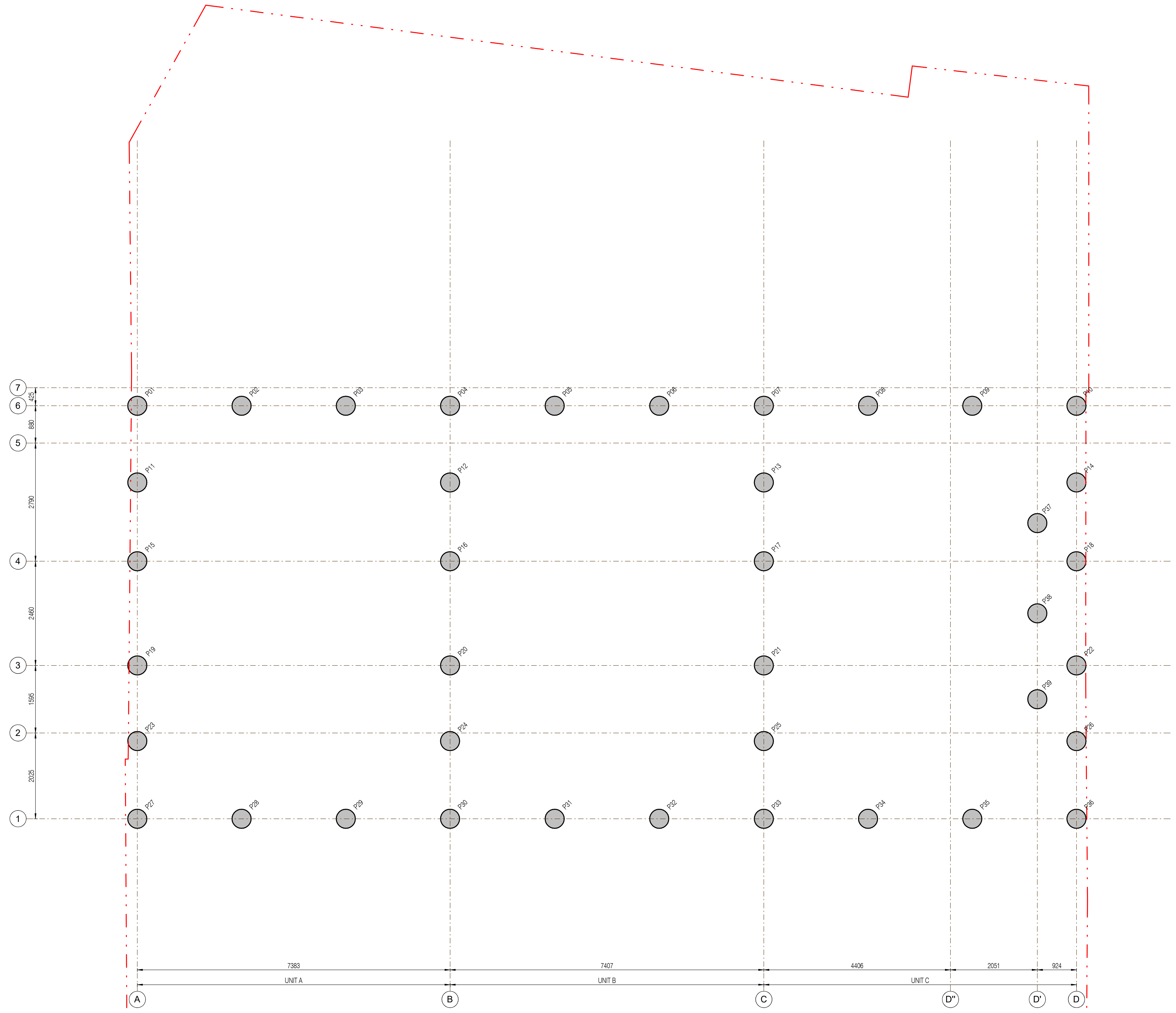
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REF:	DIAMETRE:	LENGTH:
P01	450mm DIA	T. B. C.
P02	450mm DIA	T. B. C.
P03	450mm DIA	T. B. C.
P04	450mm DIA	T. B. C.
P05	450mm DIA	T. B. C.
P06	450mm DIA	T. B. C.
P07	450mm DIA	T. B. C.
P08	450mm DIA	T. B. C.
P09	450mm DIA	T. B. C.
P10	450mm DIA	T. B. C.
P11	450mm DIA	T. B. C.
P12	450mm DIA	T. B. C.
P13	450mm DIA	T. B. C.
P14	450mm DIA	T. B. C.
P15	450mm DIA	T. B. C.
P16	450mm DIA	T. B. C.
P17	450mm DIA	T. B. C.
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P25	450mm DIA	T. B. C.
P26	450mm DIA	T. B. C.
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P37	450mm DIA	T. B. C.
P38	450mm DIA	T. B. C.
P39	450mm DIA	T. B. C.

**NOTE**  
 INDICATIVE PILE DIAMETERS AND POSITIONAL BASED ON OPTIMAL PLAN GEOMETRY FINAL PILE POSITIONS, DIAMETERS AND LENGTHS ARE SUBJECT TO CHANGE AND ARE TO BE CO-ORDINATED AT STAGE 4 BETWEEN STRUCTURAL ENGINEER, MAIN CONTRACTOR, PILING SPECIALIST AND TEMPORARY WORKS DESIGNER FOR OPTIMAL COST AND PROGRAMME BENEFIT.



**PILES - GA**  
 1:50

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV:	DESCRIPTION:	DATE:

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA-EY**  
 harriott-eyles

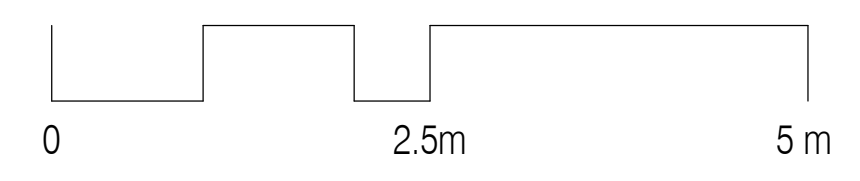
**HA-EY Harriott-Eyles Ltd**  
 Studio 8C  
 20, 22 Lordship Ln  
 London  
 SE22 8HN  
 E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

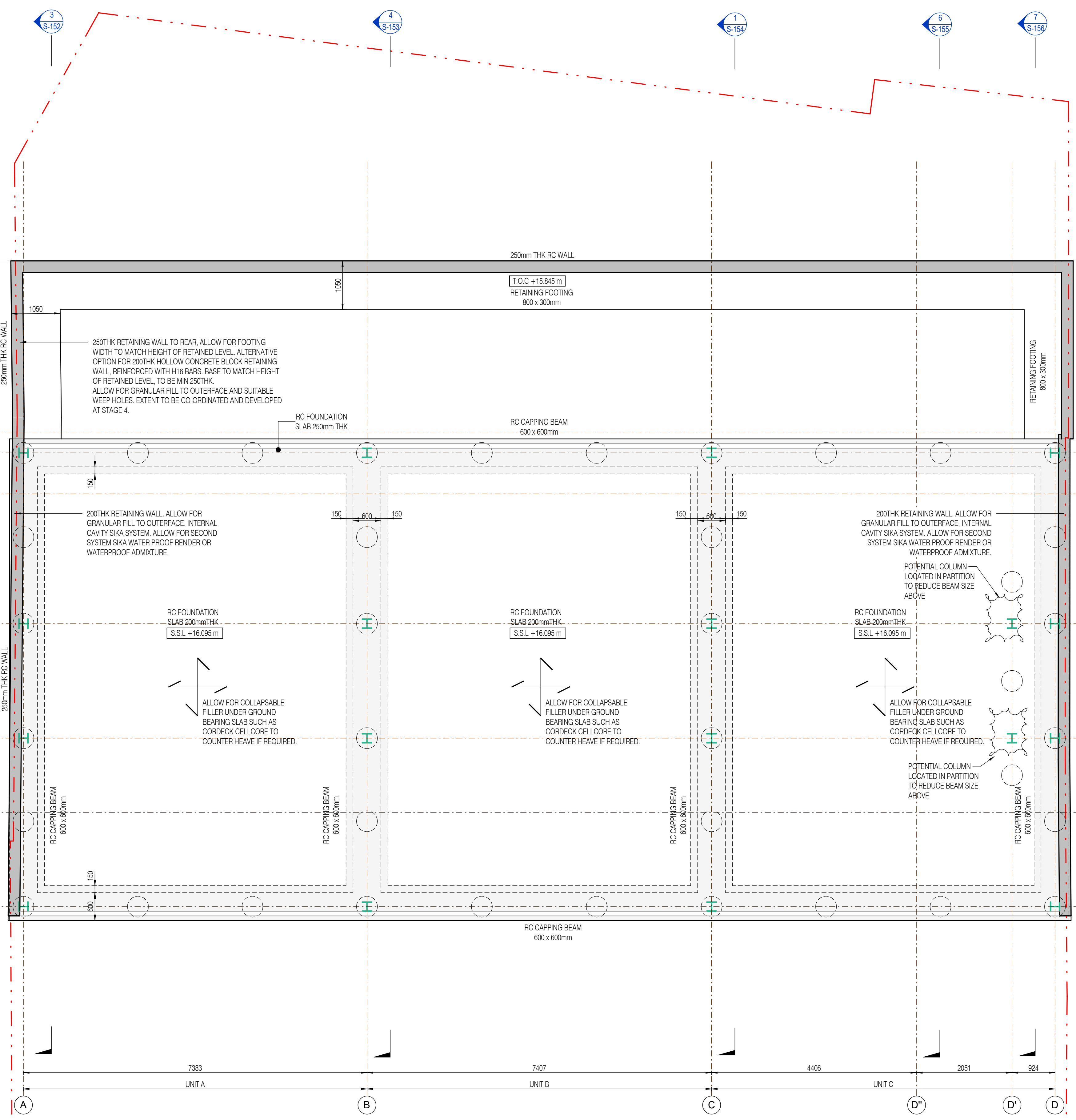
PROJECT:  
**Queen's Road  
 Wimbledon, London**

TITLE:  
**PILES G.A.**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN' 23
SCALE (@ A1) 1:50		PROJECT NUMBER: 22066	
DRAWING NUMBER: <b>22066-QRP-S-098</b>			REV <b>P02</b>





**FOUNDATION - GA**  
1:50

**FIRE STRATEGY**  
ALL WORKS TO COMPLY WITH RELEVANT AND CURRENT BUILDING REGULATIONS. ALL FIRE PROTECTION AND BOARDING REQUIREMENTS TO BE CONFIRMED BY PROJECT ARCHITECT.  
PROTECTION TO STRUCTURAL ELEMENTS TO BE EITHER PROVIDED WITH INTUMESCENT PAINT OF FIRE BOARDING TO PROVIDED A MINIMUM OF 60MM PROTECTION OR AS ADVISED BY BUILDING CONTROL OFFICER, WHICHEVER GREATER.

GENERAL KEY			
REFERENCE	DESCRIPTION		
[Symbol]	WALLS - EXISTING	[Symbol]	TIMBER SPANS
[Symbol]	WALLS - BELOW	[Symbol]	SPREADER MEMBER
[Symbol]	BEAMS - NEW		
[Symbol]	VERTICAL CROSS BRACING BETWEEN COLUMNS AND WITHIN PARTY WALL BUILD UP. ALLOW FOR 150x50PPC OR FLAT PLATES TO BE CO-ORDINATED AT STAGE 4		
[Symbol]	NON-LOADING PARTITIONS TO BE FORMED IN TIMBER STUD OR BLOCKWORK		
[Symbol]	ALLOW FOR NON-LOADBEARING PARTY WALLS / EXTERNAL WALL TO BE FORMED IN 100THk 7N BLOCKWORK FOR ACOUSTIC AND FIRE RATING. TO BE CO-ORDINATED AT STAGE 4		

STEEL BEAM SCHEDULE & INFO	
CORROSIVE PROTECTION SYSTEMS - SURFACE PREPARATION	
FIRST LAYER OF PROTECTION	MINIMUM PREPARATION GRADE (UNO)
Zn (P) PRIMER	Sa 2 1/2 ACCORDING TO ISO 8501-1 MEDIUM (G) ACCORDING TO ISO 8503-1
MISCELLANEOUS PRIMER	Sa 2 1/2 ACCORDING TO ISO 8501-1 ADDITIONAL INFORMATION SHOULD BE GIVEN IN THE TECHNICAL DATA SHEETS.
THERMAL-SPRAYED METALLIC COATING AND SEALER (ACCORDING TO ISO 2063)	ACCORDING TO ISO 2063

**NOTES**  
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**EXPLANATIONS**  
EXPLANATIONS OF SPECIAL SYMBOLS, DESIGNATIONS, ABBREVIATIONS & UNIT DIMENSIONS  
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TW = TEMPORARY WORKS. THE NOTED AREAS ARE WHERE TEMPORARY WORKS ARE EXPECTED. THE CONTRACTOR IS TO REVIEW IN RELATION TO WORKING PRACTICES AND SECURING.  
CDM = CONSTRUCTION DESIGN & MANAGEMENT (CDM) STATEMENT.

**INSTRUCTIONS**  
INSTRUCTIONS RELATING TO MATERIAL, REALIZATION, SURFACE TREATMENT, ASSEMBLY PLACING, NUMBER OF UNITS & COMBINED DIMENSIONS  
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2. WHERE APPLICABLE TEMPORARY WORKS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL TEMPORARY WORKS. METHOD STATEMENT AND FINAL DESIGN ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER (SE) FOR REVIEW.  
3. ANY DISCREPANCIES BETWEEN ISSUED INFORMATION PROVIDED SHOULD BE BOUGHT TO THE ATTENTION OF HA+EY STUDIO.  
4. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR PREPARING ANY SHOP ASSEMBLY DRAWINGS.

**REFERENCES**  
SUPPLEMENTARY DRAWINGS & OTHER DOCUMENTS  
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS AND SPECIFICATIONS.

**STAGE 3 DESIGN INTENT**  
PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

WHERE DIGITAL MODELS/FILES ARE ISSUED, THESE ARE PROVIDED FOR INFORMATION ONLY TO ASSIST OTHER PARTIES DEVELOP THEIR DESIGNS/DRAWINGS DOCUMENTATION. THIS INFORMATION IS OUTSIDE OUR CONTRACTED SCOPE OF SERVICES AND HA+EY ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE DIGITAL DATA SUPPLIED. THE CONTRACTUAL DRAWINGS/INFORMATION PRODUCED BY HA+EY UNDER OUR APPOINTMENT ARE LIMITED TO THE 2D PDF DRAWING FILE/PAPER COMES, WITH RESPECT TO DESIGN COORDINATION AND DIMENSIONAL SETTING OUT.

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA-EY**  
harrriott-eyles

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Studio 8C  
20, 22 Lordship Ln  
London  
SE22 8HN  
E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
Wimbledon, London**

TITLE:  
**FOUNDATIONS PLAN**

CLIENT:  
**Sanford Developments  
(Wimbledon)**

**CONSTRUCTION, DESIGN AND MANAGEMENT (CDM) CONSIDERATIONS.**

POTENTIAL HAZARDS IDENTIFIED OUTSIDE OF THE NORM. SEE FULL CDM ASSESSMENT FOR FULL INFORMATION AND RISK REDUCTION CONSIDERATIONS FOR TYPICAL CONSIDERATIONS WHERE APPLICABLE.

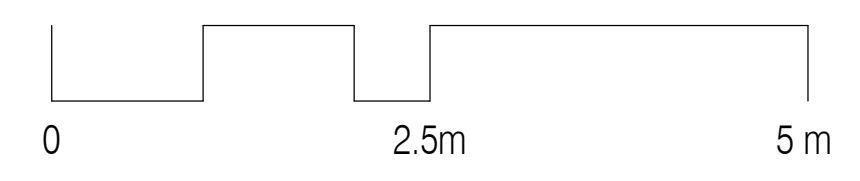
HA+EY STUDIO HAVE ADOPTED THE RECOMMENDED RAG (RED - AMBER - GREEN) METHOD OF ASSESSMENT TO COMPLY WITH THEIR RESPONSIBILITIES IN RELATION TO CLAUSE 9 OF THE 2015 CDM REGULATIONS.

**RED** = HAZARDOUS PROCEDURES, PRODUCTS AND PROCESSES THAT SHOULD BE ELIMINATED FROM THE PROJECT WHERE POSSIBLE.

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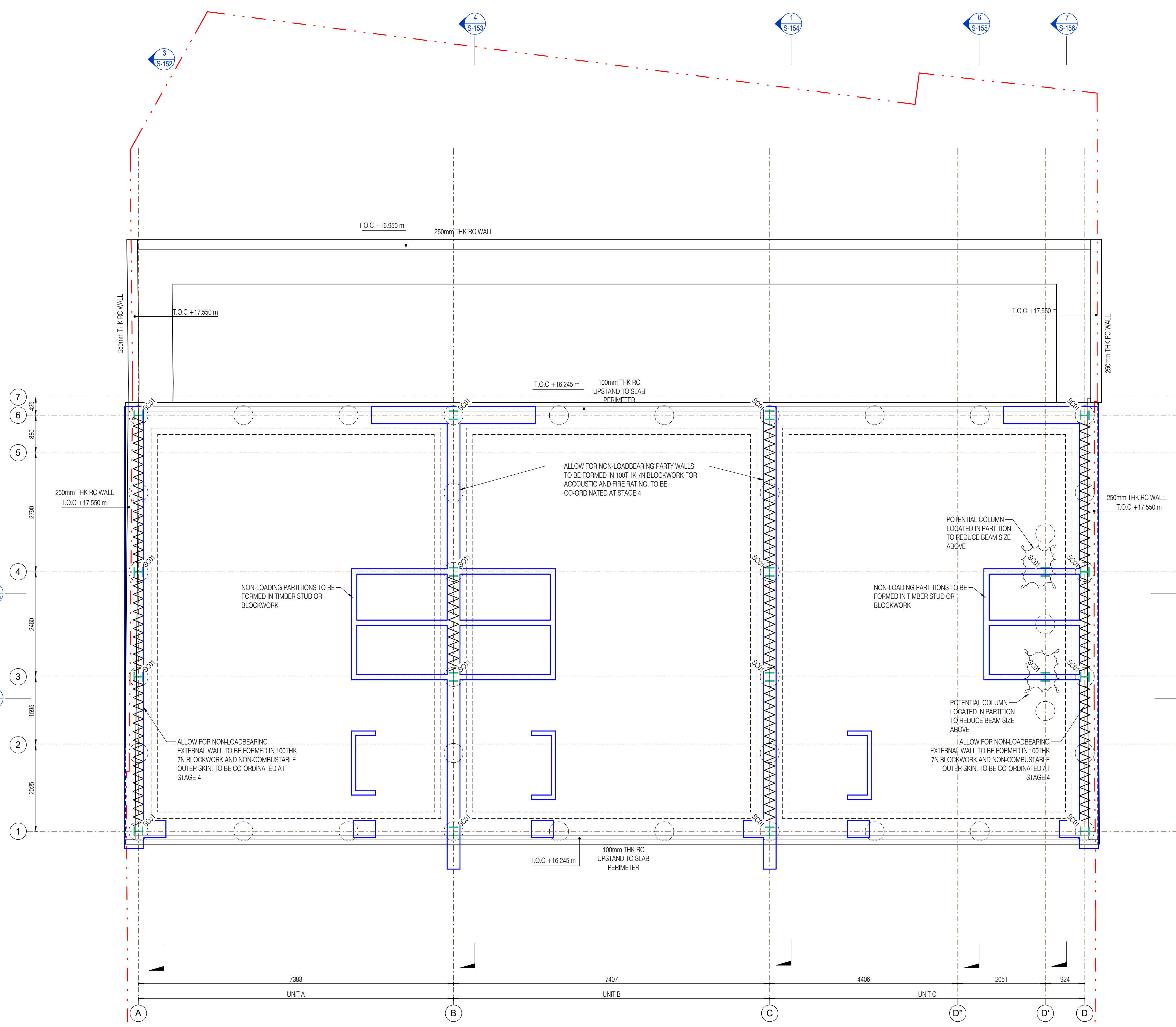
**GREEN** = PRODUCTS, PROCESSES AND PROCEDURES TO BE POSITIVELY ENCOURAGED.

REF	RISK	POTENTIAL HAZARDS
CDM 01	AMBER	ALL STEEL TO SITE MEASURED PRIOR TO FABRICATION TO ENSURE CORRECT LENGTHS AND BEARINGS ARE ACHIEVED.
CDM 02	AMBER	LIFTING AND MANEUVERING OF HEAVY BEAMS
CDM 03	AMBER	POSITION OF BEAM CRANKS DETERMINED BY ANGLE OF MANSARD WALL. CONTRACTOR TO CONFIRM ON SITE.
CDM 04	RED	TEMPORARY PROPPING OF MASONRY WALL. AVOID OCCUPATION ABOVE WORKS DURING DEMOLITION UNTIL INSTALLATION OF NEW SUPPORTING STRUCTURE WHERE POSSIBLE
CDM 05	RED	POSITIONING OF EXISTING UNDERGROUND SERVICES ARE UNKNOWN. CONTRACTOR TO ENSURE CLASH WITH SERVICES AND NEW FOUNDATIONS IS AVOIDED.



DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN 23
SCALE (@@ 1)	PROJECT NUMBER:		
As indicated	22066		
DRAWING NUMBER:	REV		
22066-QRP-S-099	P02		





**GROUND FLOOR - GA**  
1:50

**FIRE STRATEGY**  
ALL WORKS TO COMPLY WITH RELEVANT AND CURRENT BUILDING REGULATIONS. ALL FIRE PROTECTION AND BOARDING REQUIREMENTS TO BE CONFIRMED BY PROJECT ARCHITECT.  
PROTECTION TO STRUCTURAL ELEMENTS TO BE EITHER PROVIDED WITH INTUMESCENT PAINT OF FIRE BOARDING TO PROVIDED A MINIMUM OF 60MM PROTECTION OR AS ADVISED BY BUILDING CONTROL OFFICER, WHICHEVER GREATER.

GENERAL KEY			
REFERENCE	DESCRIPTION		
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[Symbol]	WALLS - BELOW	[Symbol]	SPREADER MEMBER
[Symbol]	BEAMS - NEW		
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[Symbol]	ALLOW FOR NON-LOADBEARING PARTY WALLS / EXTERNAL WALL TO BE FORMED IN 100THK 7N BLOCKWORK FOR ACCOUSTIC AND FIRE RATING. TO BE CO-ORDINATED AT STAGE 4		

STEEL BEAM SCHEDULE & INFO	
CORROSIVE PROTECTION SYSTEMS - SURFACE PREPARATION	
FIRST LAYER OF PROTECTION	MINIMUM PREPARATION GRADE (UNO)
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THERMAL-SPRAYED METALLIC COATING AND SEALER (ACCORDING TO ISO 2063)	ACCORDING TO ISO 2063

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CDM = CONSTRUCTION DESIGN & MANAGEMENT (CDM) STATEMENT.

1. ALL DIMENSIONS ARE IN MILLIMETER (MM).  
2. DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY.  
3. WHERE APPLICABLE, DEPTH OF FOUNDATIONS TO EXISTING STRUCTURES ARE ASSUMED AND SUBJECT TO TRIAL PITS AND OPENING UP WORKS (UNO).  
4. PLEASE REFER TO CDM FOR DESIGN RISKS AND HAZARDS OUTSIDE THOSE NORMALLY ASSOCIATED WITH THE SCOPE OF WORKS FOR THIS TYPE OF PROJECT. NO SIGNIFICANT RESIDUAL HAZARDS BEYOND THOSE KNOWN TO A COMPETENT CONTRACTOR HAVE BEEN ASSUMED UNO IN THE CDM ASSESSMENT.  
5. THIS DRAWING REMAINS THE COPYRIGHT OF HARRIOTT-EYLES LTD.

**INSTRUCTIONS**  
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FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24
REV.	DESCRIPTION	DATE

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STATUS: **S2** PURPOSE OF ISSUE: **STAGE 3**

**HA-EY**  
harrriott-eyles

**HA-EY Harriott-Eyles Ltd**  
Studio 8C  
20, 22 Lordship Ln  
London  
SE22 8HN  
E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

PROJECT: **Queen's Road Wimbledon, London**

TITLE: **GROUND FLOOR G.A.**

CLIENT: **Sanford Developments (Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN 23
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SCALE (@ @ 1) As indicated PROJECT NUMBER: 22066

DRAWING NUMBER: **22066-QRP-S-100** REV: **P02**

**CONSTRUCTION, DESIGN AND MANAGEMENT (CDM) CONSIDERATIONS.**

POTENTIAL HAZARDS IDENTIFIED OUTSIDE OF THE NORM. SEE FULL CDM ASSESSMENT FOR FULL INFORMATION AND RISK REDUCTION CONSIDERATIONS FOR TYPICAL CONSIDERATIONS WHERE APPLICABLE.

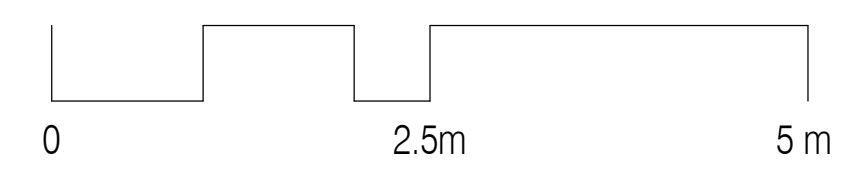
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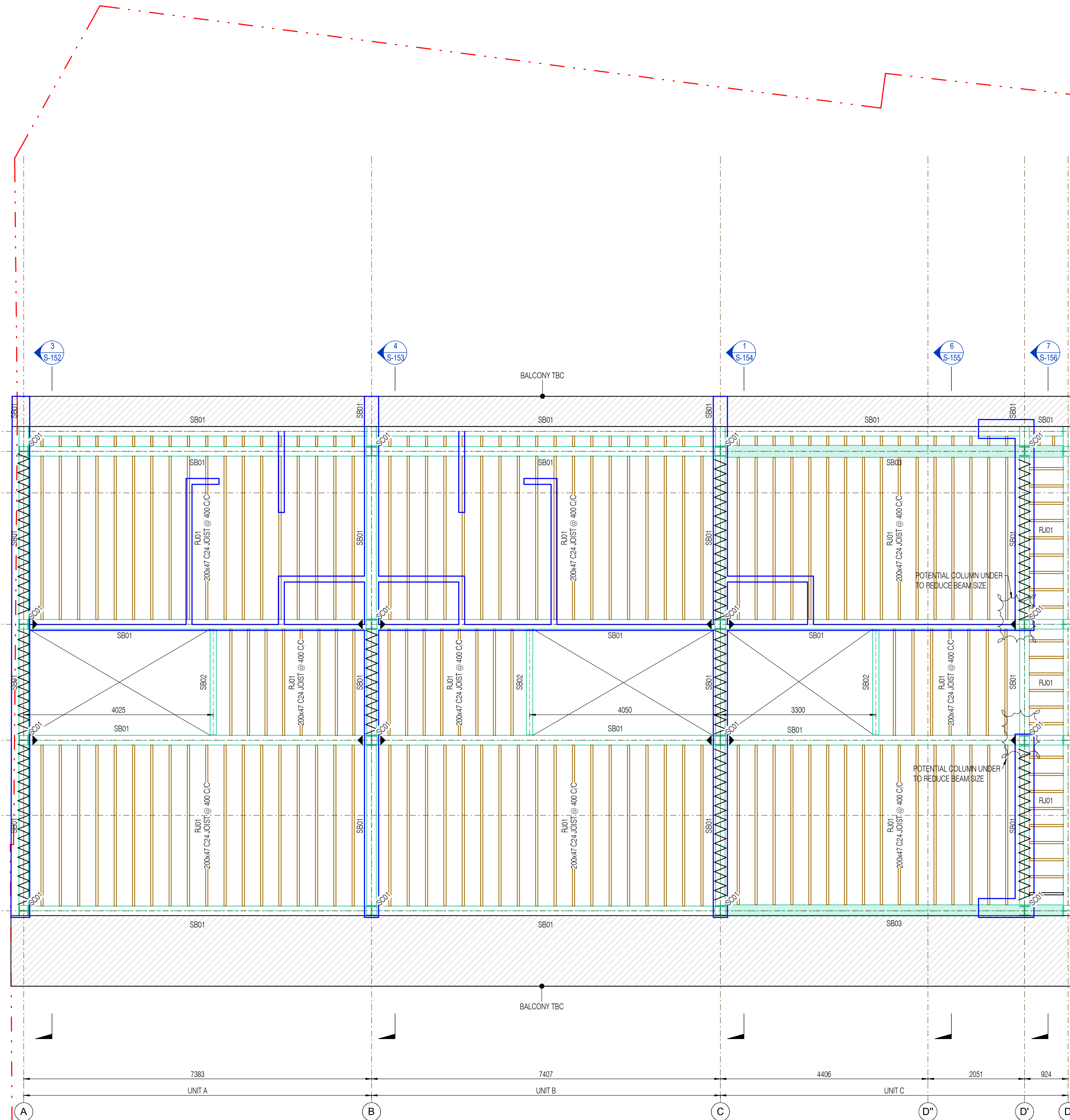
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**FIRST FLOOR - GA**  
1:50

**FIRE STRATEGY**  
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STEEL BEAM SCHEDULE & INFO	
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**STAGE 3 DESIGN INTENT**  
PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY. FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL. DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

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STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA-EY**  
harrriott-eyles

HA+EY Harriott-Eyles Ltd  
Studio 8C  
20, 22 Lordship Ln  
London  
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E hello@ha-ey.co.uk  
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REF	RISK	POTENTIAL HAZARDS
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CDM 05	RED	POSITIONING OF EXISTING UNDERGROUND SERVICES ARE UNKNOWN. CONTRACTOR TO ENSURE CLASH WITH SERVICES AND NEW FOUNDATIONS IS AVOIDED.

PROJECT:  
**Queen's Road  
Wimbledon, London**

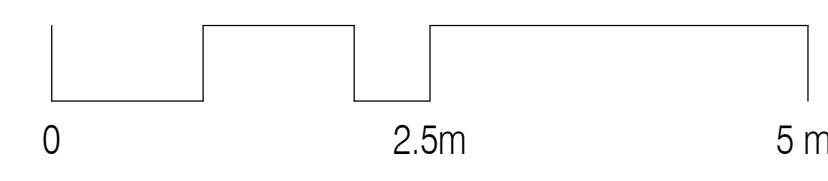
TITLE:  
**FIRST FLOOR G.A.**

CLIENT:  
**Sanford Developments  
(Wimbledon)**

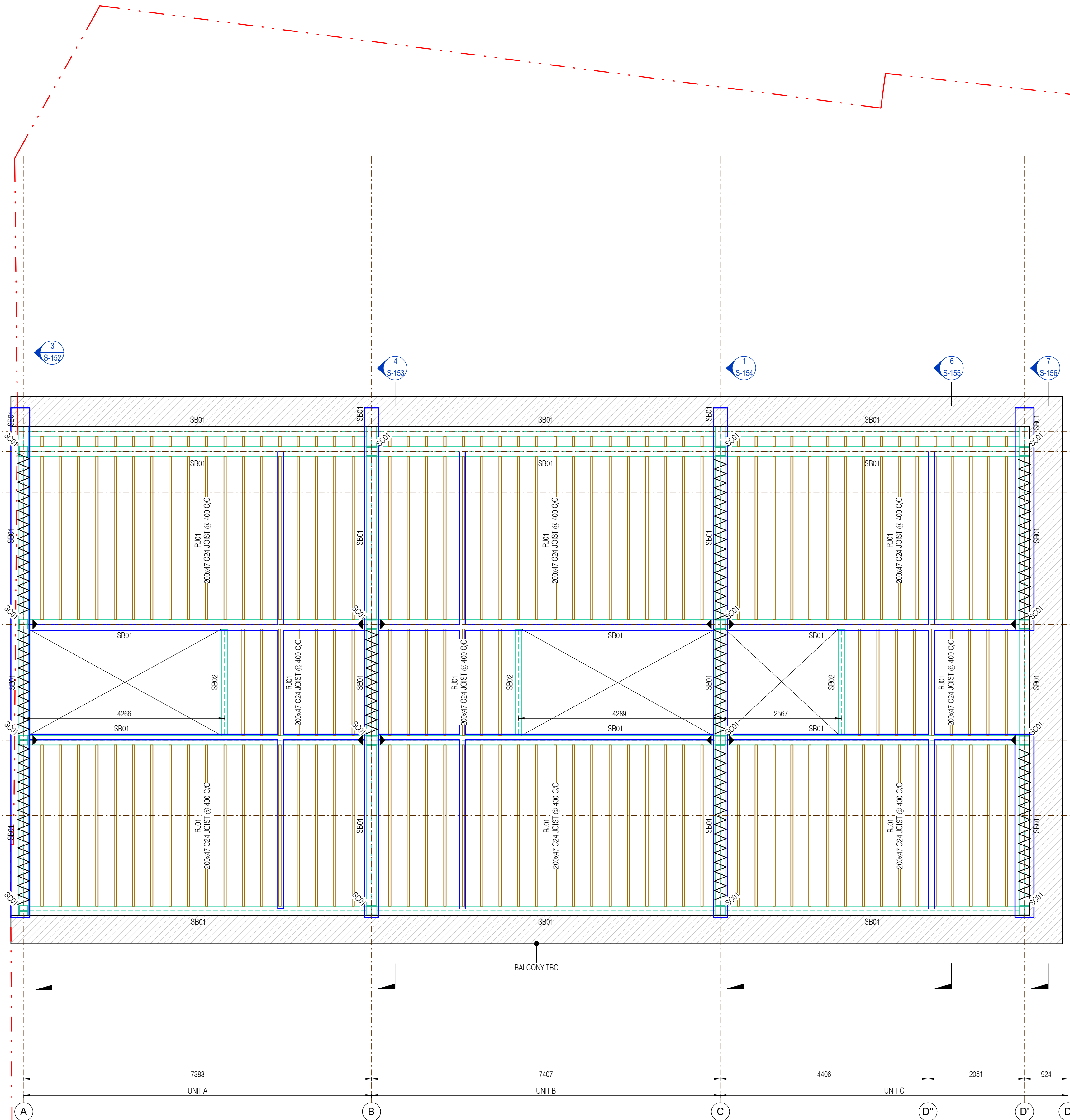
DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN 23
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SCALE (@ A1) As indicated	PROJECT NUMBER: 22066
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DRAWING NUMBER: <b>22066-QRP-S-101</b>	REV <b>P02</b>
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**SECOND PLAN - GA**  
1 : 50

**FIRE STRATEGY**  
ALL WORKS TO COMPLY WITH RELEVANT AND CURRENT BUILDING REGULATIONS. ALL FIRE PROTECTION AND BOARDING REQUIREMENTS TO BE CONFIRMED BY PROJECT ARCHITECT.  
PROTECTION TO STRUCTURAL ELEMENTS TO BE EITHER PROVIDED WITH INTUMESCENT PAINT OF FIRE BOARDING TO PROVIDED A MINIMUM OF 60MM PROTECTION OR AS ADVISED BY BUILDING CONTROL OFFICER, WHICHEVER GREATER.

GENERAL KEY			
REFERENCE	DESCRIPTION		
[Symbol]	WALLS - EXISTING	[Symbol]	TIMBER SPANS
[Symbol]	WALLS - BELOW	[Symbol]	SPREADER MEMBER
[Symbol]	BEAMS - NEW		
[Symbol]	VERTICAL CROSS BRACING BETWEEN COLUMNS AND WITHIN PARTY WALL BUILD UP. ALLOW FOR 150x50PPC OR FLAT PLATES TO BE CO-ORDINATED AT STAGE 4		
[Symbol]	NON-LOADING PARTITIONS TO BE FORMED IN TIMBER STUD OR BLOCKWORK		
[Symbol]	ALLOW FOR NON-LOADBEARING PARTY WALLS / EXTERNAL WALL TO BE FORMED IN 100TK 7N BLOCKWORK FOR ACOUSTIC AND FIRE RATING. TO BE CO-ORDINATED AT STAGE 4		

STEEL BEAM SCHEDULE & INFO	
CORROSIVE PROTECTION SYSTEMS - SURFACE PREPARATION	
FIRST LAYER OF PROTECTION	MINIMUM PREPARATION GRADE (UNO)
Zn (F) PRIMER	Sa 2 1/2 ACCORDING TO ISO 8501-1 MEDIUM (G) ACCORDING TO ISO 8503-1
MISCELLANEOUS PRIMER	Sa 2 1/2 ACCORDING TO ISO 8501-1 ADDITIONAL INFORMATION SHOULD BE GIVEN IN THE TECHNICAL DATA SHEETS.
THERMAL-SPRAYED METALLIC COATING AND SEALER (ACCORDING TO ISO 2063)	ACCORDING TO ISO 2063

**NOTES**  
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**EXPLANATIONS**  
EXPLANATIONS OF SPECIAL SYMBOLS, DESIGNATIONS, ABBREVIATIONS & UNIT DIMENSIONS  
SE = STRUCTURAL ENGINEER  
UNO = UNLESS NOTED OTHERWISE  
TW = TEMPORARY WORKS. THE NOTED AREAS ARE WHERE TEMPORARY WORKS ARE EXPECTED. THE CONTRACTOR IS TO REVIEW IN RELATION TO WORKING PRACTICES AND SECURING.  
CDM = CONSTRUCTION DESIGN & MANAGEMENT (CDM) STATEMENT.

**INSTRUCTIONS**  
INSTRUCTIONS RELATING TO MATERIAL, REALIZATION, SURFACE TREATMENT, ASSEMBLY PLACING, NUMBER OF UNITS & COMBINED DIMENSIONS  
1. ALL WORK AND MATERIALS ARE TO COMPLY WITH RELEVANT DESIGN CODES (BRITISH STANDARDS, EUROCODES), CODES OF PRACTICE AND PRESENT BUILDING REGULATIONS.  
2. WHERE APPLICABLE, TEMPORARY WORKS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL TEMPORARY WORKS. METHOD STATEMENT AND FINAL DESIGN ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER (SE) FOR REVIEW.  
3. ANY DISCREPANCIES BETWEEN ISSUED INFORMATION PROVIDED SHOULD BE BOUGHT TO THE ATTENTION OF HA+EY STUDIO.  
4. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR PREPARING ANY SHOP ASSEMBLY DRAWINGS.

**REFERENCES**  
SUPPLEMENTARY DRAWINGS & OTHER DOCUMENTS  
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS AND SPECIFICATIONS.

**STAGE 3 DESIGN INTENT**  
PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL. DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24
REV.	DESCRIPTION	DATE

STATUS: **S2** | PURPOSE OF ISSUE: **STAGE 3**

**HA-EY**  
harrriott-eyles

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20, 22 Lordship Ln  
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E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

PROJECT: **Queen's Road Wimbledon, London**

TITLE: **SECOND FLOOR G.A.**

CLIENT: **Sanford Developments (Wimbledon)**

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN 23

SCALE: (@ A1)  
As indicated

DRAWING NUMBER: **22066-QRP-S-102**

REV: **P02**

**CONSTRUCTION, DESIGN AND MANAGEMENT (CDM) CONSIDERATIONS.**

POTENTIAL HAZARDS IDENTIFIED OUTSIDE OF THE NORM. SEE FULL CDM ASSESSMENT FOR FULL INFORMATION AND RISK REDUCTION CONSIDERATIONS FOR TYPICAL CONSIDERATIONS WHERE APPLICABLE.

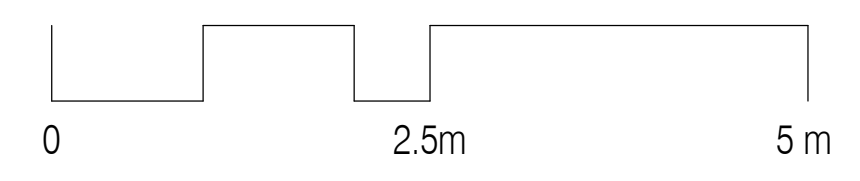
HA+EY STUDIO HAVE ADOPTED THE RECOMMENDED RAG (RED - AMBER - GREEN) METHOD OF ASSESSMENT TO COMPLY WITH THEIR RESPONSIBILITIES IN RELATION TO CLAUSE 9 OF THE 2015 CDM REGULATIONS.

**RED** = HAZARDOUS PROCEDURES, PRODUCTS AND PROCESSES THAT SHOULD BE ELIMINATED FROM THE PROJECT WHERE POSSIBLE.

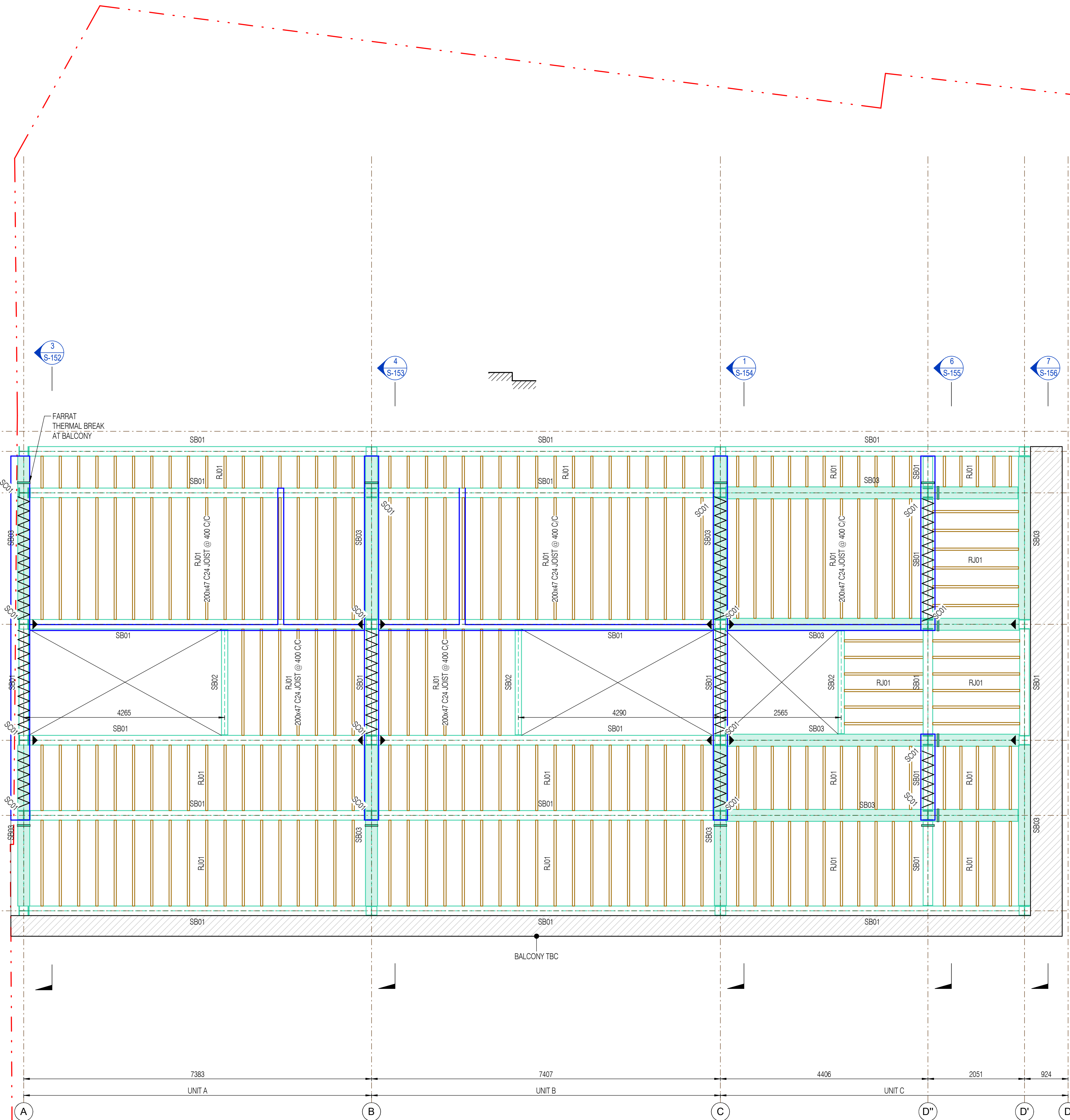
**AMBER** = PRODUCTS, PROCESSES AND PROCEDURES TO BE ELIMINATED OR REDUCED AS FAR AS POSSIBLE AND ONLY SPECIFIED OR ALLOWED IF UNAVOIDABLE. INCLUDING AMBER ITEMS WOULD ALWAYS LEAD TO THE PROVISION OF INFORMATION TO THE PRINCIPAL CONTRACTOR.

**GREEN** = PRODUCTS, PROCESSES AND PROCEDURES TO BE POSITIVELY ENCOURAGED.

REF	RISK	POTENTIAL HAZARDS
CDM 01	AMBER	ALL STEEL TO SITE MEASURED PRIOR TO FABRICATION TO ENSURE CORRECT LENGTHS AND BEARINGS ARE ACHIEVED.
CDM 02	AMBER	LIFTING AND MANEUVERING OF HEAVY BEAMS
CDM 03	AMBER	POSITION OF BEAM CRANKS DETERMINED BY ANGLE OF MANSARD WALL. CONTRACTOR TO CONFIRM ON SITE.
CDM 04	RED	TEMPORARY PROPPING OF MASONRY WALL. AVOID OCCUPATION ABOVE WORKS DURING DEMOLITION UNTIL INSTALLATION OF NEW SUPPORTING STRUCTURE WHERE POSSIBLE
CDM 05	RED	POSITIONING OF EXISTING UNDERGROUND SERVICES ARE UNKNOWN. CONTRACTOR TO ENSURE CLASH WITH SERVICES AND NEW FOUNDATIONS IS AVOIDED.







**LOFT PLAN - GA**  
1 : 50

**FIRE STRATEGY**  
ALL WORKS TO COMPLY WITH RELEVANT AND CURRENT BUILDING REGULATIONS. ALL FIRE PROTECTION AND BOARDING REQUIREMENTS TO BE CONFIRMED BY PROJECT ARCHITECT.  
PROTECTION TO STRUCTURAL ELEMENTS TO BE EITHER PROVIDED WITH INTUMESCENT PAINT OF FIRE BOARDING TO PROVIDE A MINIMUM OF 60MIN PROTECTION OR AS ADVISED BY BUILDING CONTROL OFFICER, WHICHEVER GREATER.

GENERAL KEY			
REFERENCE	DESCRIPTION		
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[Symbol]	WALLS - BELOW	[Symbol]	SPREADER MEMBER
[Symbol]	BEAMS - NEW		
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[Symbol]	NON-LOADING PARTITIONS TO BE FORMED IN TIMBER STUD OR BLOCKWORK		
[Symbol]	ALLOW FOR NON-LOADBEARING PARTY WALLS / EXTERNAL WALL TO BE FORMED IN 100TK 7N BLOCKWORK FOR ACOUSTIC AND FIRE RATING. TO BE CO-ORDINATED AT STAGE 4		

STEEL BEAM SCHEDULE & INFO	
CORROSIVE PROTECTION SYSTEMS - SURFACE PREPARATION	
FIRST LAYER OF PROTECTION	MINIMUM PREPARATION GRADE (UNO)
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THERMAL-SPRAYED METALLIC COATING AND SEALER (ACCORDING TO ISO 2063)	ACCORDING TO ISO 2063

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CDM = CONSTRUCTION DESIGN & MANAGEMENT (CDM) STATEMENT.

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2. DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY.  
3. WHERE APPLICABLE, DEPTH OF FOUNDATIONS TO EXISTING STRUCTURES ARE ASSUMED AND SUBJECT TO TRIAL PITS AND OPENING UP WORKS (UNO).  
4. PLEASE REFER TO CDM FOR DESIGN RISKS AND HAZARDS OUTSIDE THOSE NORMALLY ASSOCIATED WITH THE SCOPE OF WORKS FOR THIS TYPE OF PROJECT. NO SIGNIFICANT RESIDUAL HAZARDS BEYOND THOSE KNOWN TO A COMPETENT CONTRACTOR HAVE BEEN ASSUMED UNO IN THE CDM ASSESSMENT.  
5. THIS DRAWING REMAINS THE COPYRIGHT OF HARRIOTT-EYLES LTD.

**INSTRUCTIONS**  
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SUPPLEMENTARY DRAWINGS & OTHER DOCUMENTS  
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS, ENGINEERS & SPECIALIST DRAWINGS AND SPECIFICATIONS.

**STAGE 3 DESIGN INTENT**  
PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24
REV.	DESCRIPTION	DATE

WHERE DIGITAL MODELS/FILES ARE ISSUED, THESE ARE PROVIDED FOR INFORMATION ONLY TO ASSIST OTHER PARTIES DEVELOP THEIR DESIGNS/DRAWINGS DOCUMENTATION. THIS INFORMATION IS OUTSIDE OUR CONTRACTED SCOPE OF SERVICES AND HA+EY ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE DIGITAL DATA SUPPLIED. THE CONTRACTUAL DRAWINGS/INFORMATION PRODUCED BY HA+EY UNDER OUR APPOINTMENT ARE LIMITED TO THE 2D PDF DRAWING FILE/PAPER COPIES, WITH RESPECT TO DESIGN COORDINATION AND DIMENSIONAL SETTING OUT.

STATUS: **S2** | PURPOSE OF ISSUE: **STAGE 3**

**HA-EY**  
harrriott-eyles

**HA-EY Harriott-Eyles Ltd**  
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W www.ha-ey.co.uk

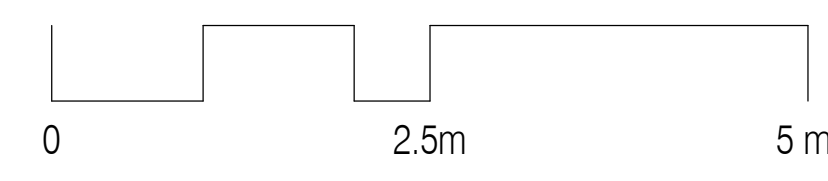
PROJECT: **Queen's Road Wimbledon, London**

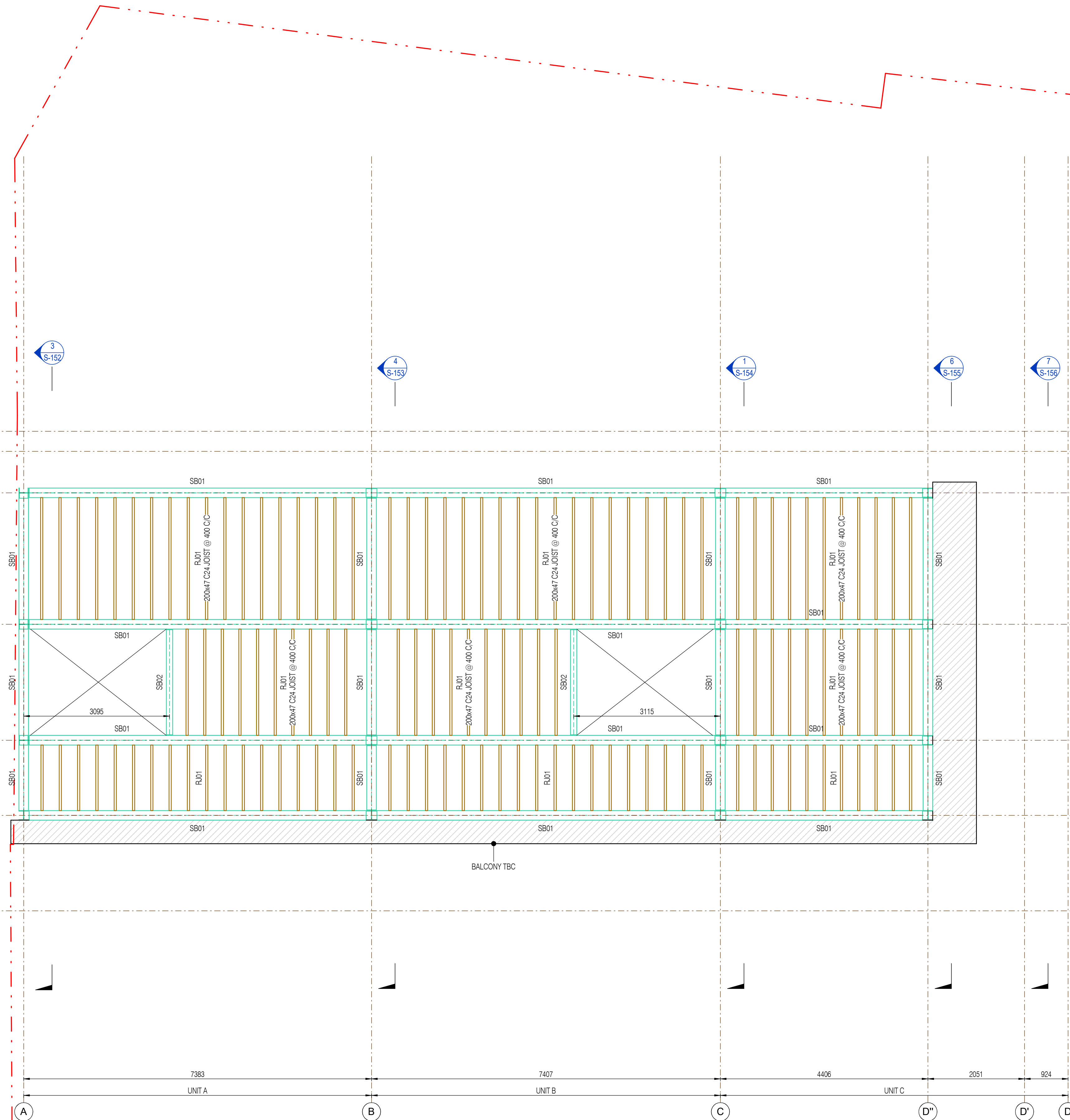
TITLE: **LOFT FLOOR G.A.**

CLIENT: **Sanford Developments (Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN 23
SCALE (@ A1) As indicated		PROJECT NUMBER: 22066	REV <b>P02</b>
DRAWING NUMBER: <b>22066-QRP-S-103</b>			

CONSTRUCTION, DESIGN AND MANAGEMENT (CDM) CONSIDERATIONS.		
POTENTIAL HAZARDS IDENTIFIED OUTSIDE OF THE NORM. SEE FULL CDM ASSESSMENT FOR FULL INFORMATION AND RISK REDUCTION CONSIDERATIONS FOR TYPICAL CONSIDERATIONS WHERE APPLICABLE.		
HA+EY STUDIO HAVE ADOPTED THE RECOMMENDED RAG (RED - AMBER - GREEN) METHOD OF ASSESSMENT TO COMPLY WITH THEIR RESPONSIBILITIES IN RELATION TO CLAUSE 9 OF THE 2015 CDM REGULATIONS.		
<b>RED</b> = HAZARDOUS PROCEDURES, PRODUCTS AND PROCESSES THAT SHOULD BE ELIMINATED FROM THE PROJECT WHERE POSSIBLE.		
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CDM 03	AMBER	POSITION OF BEAM CRANKS DETERMINED BY ANGLE OF MANSARD WALL. CONTRACTOR TO CONFIRM ON SITE.
CDM 04	RED	TEMPORARY PROPPING OF MASONRY WALL. AVOID OCCUPATION ABOVE WORKS DURING DEMOLITION UNTIL INSTALLATION OF NEW SUPPORTING STRUCTURE WHERE POSSIBLE.
CDM 05	RED	POSITIONING OF EXISTING UNDERGROUND SERVICES ARE UNKNOWN. CONTRACTOR TO ENSURE CLASH WITH SERVICES AND NEW FOUNDATIONS IS AVOIDED.





**ROOF PLAN - GA**  
1:50

**FIRE STRATEGY**  
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GENERAL KEY			
REFERENCE	DESCRIPTION		
[Hatched Box]	WALLS - EXISTING	---	TIMBER SPANS
[Dashed Box]	WALLS - BELOW	---	SPREADER MEMBER
[Solid Line]	BEAMS - NEW		
[Wavy Line]	VERTICAL CROSS BRACING BETWEEN COLUMNS AND WITHIN PARTY WALL BUILD UP. ALLOW FOR 150x50PPC OR FLAT PLATES TO BE CO-ORDINATED AT STAGE 4		
[Blue Line]	NON-LOADING PARTITIONS TO BE FORMED IN TIMBER STUD OR BLOCKWORK		
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STEEL BEAM SCHEDULE & INFO	
CORROSIVE PROTECTION SYSTEMS - SURFACE PREPARATION	
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THERMAL-SPRAYED METALLIC COATING AND SEALER (ACCORDING TO ISO 2063)	ACCORDING TO ISO 2063

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FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

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STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA+EY**  
harrriott-eyles

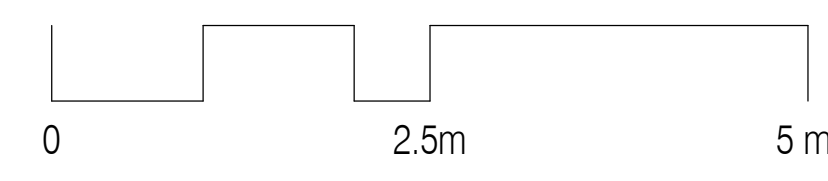
**HA+EY Harriott-Eyles Ltd**  
Studio 8C  
20, 22 Lordship Ln  
London  
SE22 8HN  
E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
Wimbledon, London**

TITLE:  
**ROOF FLOOR G.A.**

CLIENT:  
**Sanford Developments  
(Wimbledon)**

CONSTRUCTION, DESIGN AND MANAGEMENT (CDM) CONSIDERATIONS.		
POTENTIAL HAZARDS IDENTIFIED OUTSIDE OF THE NORM. SEE FULL CDM ASSESSMENT FOR FULL INFORMATION AND RISK REDUCTION CONSIDERATIONS FOR TYPICAL CONSIDERATIONS WHERE APPLICABLE.		
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DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN 23
SCALE (@ A1) As indicated		PROJECT NUMBER: 22066	
DRAWING NUMBER: <b>22066-QRP-S-104</b>			REV <b>P02</b>



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**STAGE 3 DESIGN INTENT**  
 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
 FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

# HA-EY

harrriott-eyles

**HA-EY Harriott-Eyles Ltd**

Studio 8C  
 20, 22 Lordship Ln  
 London  
 SE22 8HN

E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
 Wimbledon, London**

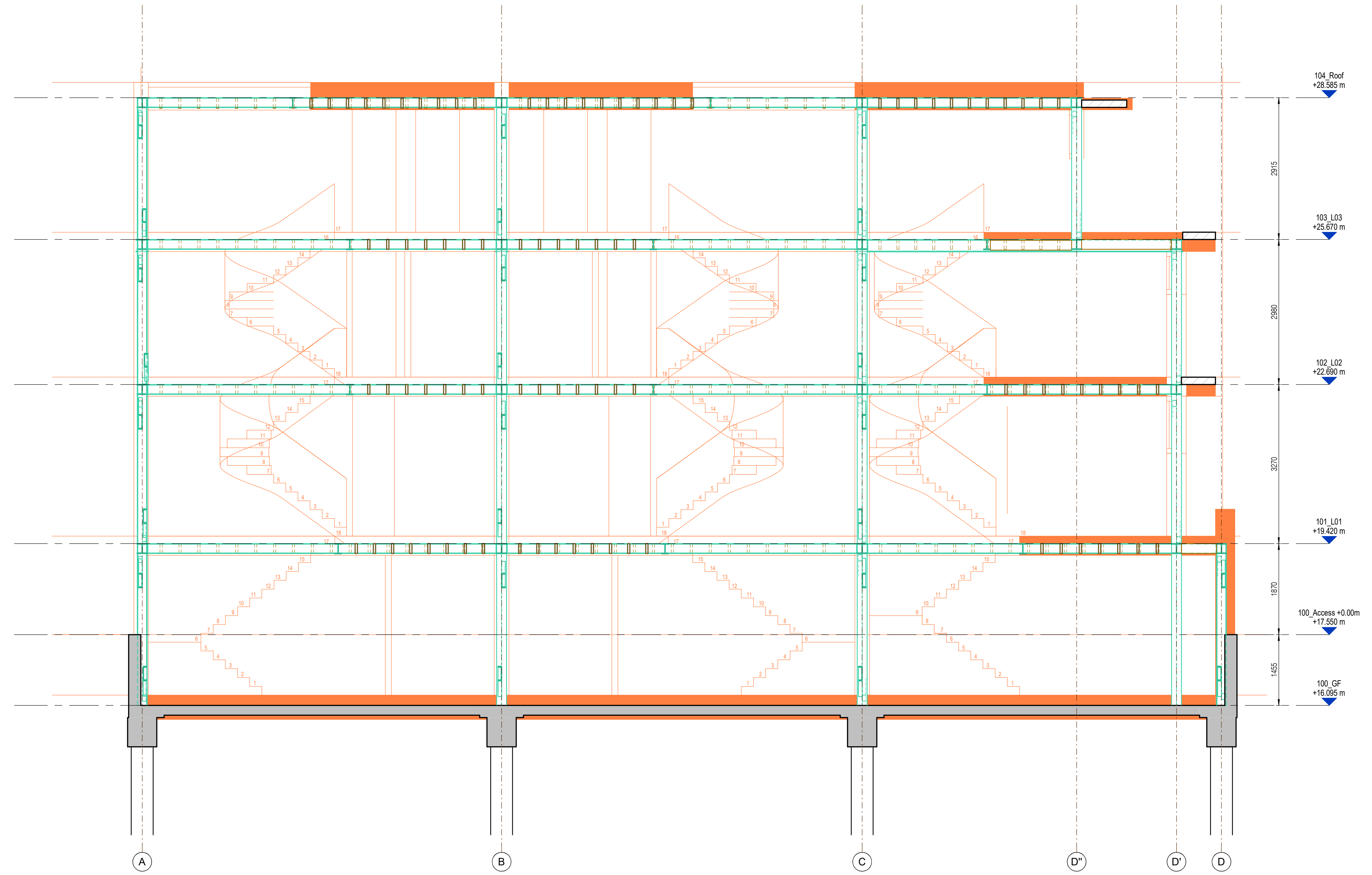
TITLE:  
**SECTION 1**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

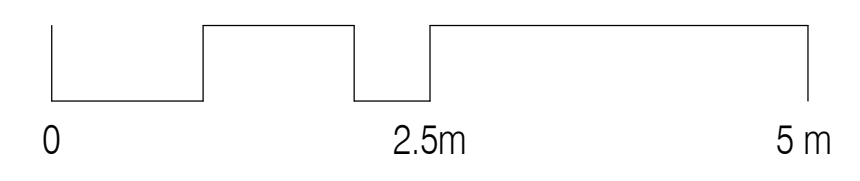
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN' 23

SCALE (@ A1)	PROJECT NUMBER:
1 : 50	22066

DRAWING NUMBER:	REV
22066-QRP-S-150	P02



**SECTION 1**  
 1:50



20230628 17:45:51

**NOTES**  
 DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE CHECKED ON SITE. ISSUED FOR PURPOSE INDICATED ONLY. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES BEFORE CONSTRUCTION COMMENCES. STRUCTURAL AND SERVICES INFORMATION ARE INDICATIVE ONLY. REFER TO CONSULTANT'S DRAWINGS AND SPECIFICATION FOR DETAILS AND SETTING OUT. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH CURRENT APPLICABLE STATUTORY LEGISLATION AND TO COMPLY WITH ALL RELEVANT CODES OF PRACTICE AND BRITISH AND EUROPEAN STANDARDS. INFORMATION CONTAINED WITHIN THIS DRAWING IS THE SOLE COPYRIGHT OF HARRIOTT-EYLES LTD. AND NOT TO BE REPRODUCED WITHOUT EXPRESSED WISHES.

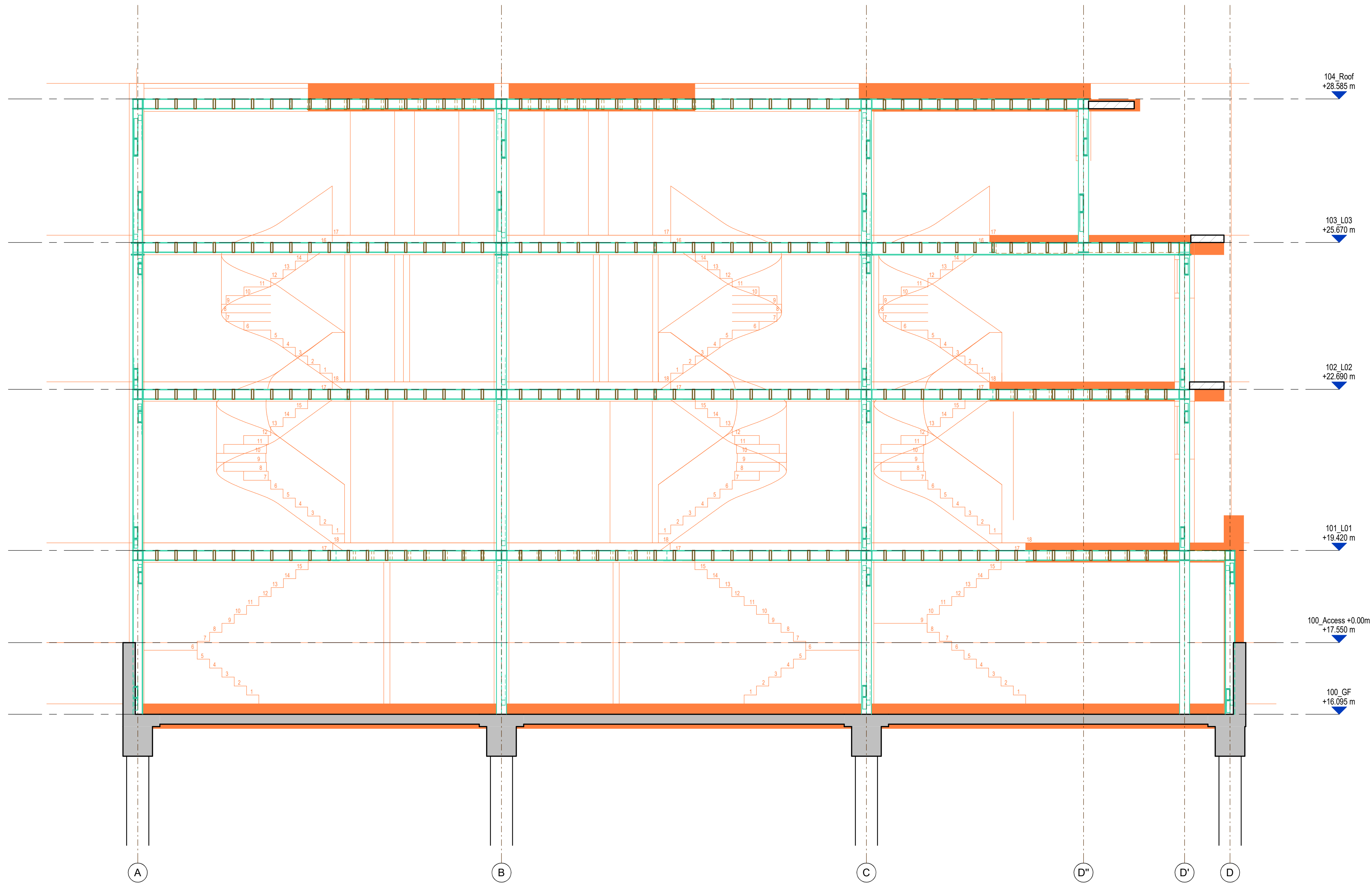
**EXPLANATIONS**  
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 UNO = UNLESS NOTED OTHERWISE  
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 FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING



**SECTION 2**  
 1:50

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA-EY**  
harrriott-eyles

**HA-EY Harriott-Eyles Ltd**  
 Studio 8C  
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 SE22 8HN  
 E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

PROJECT:  
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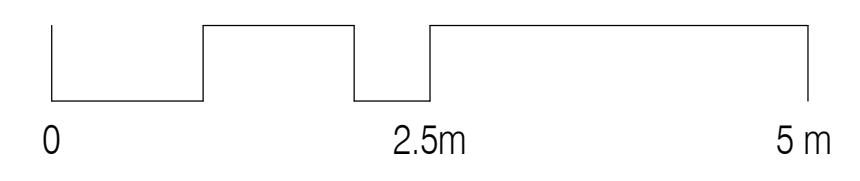
**SECTION 2**

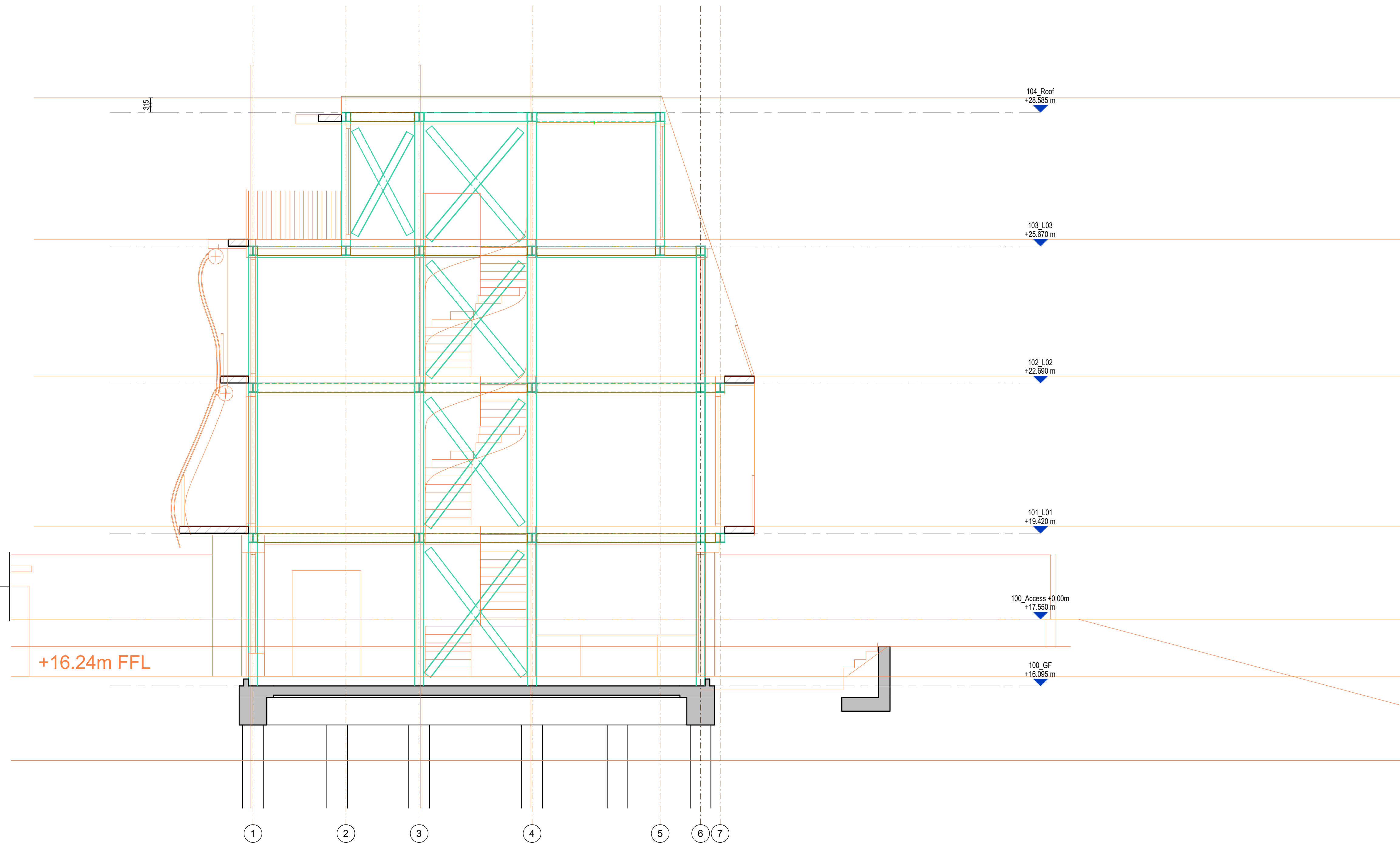
CLIENT:  
**Sanford Developments  
 (Wimbledon)**

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN' 23

SCALE (@ A1)	PROJECT NUMBER:
1 : 50	22066

DRAWING NUMBER:	REV
22066-QRP-S-151	P02





**SECTION 4**  
1:50

**NOTES**  
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**REFERENCES**  
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FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE
WHERE DIGITAL MODELS/FILES ARE ISSUED, THESE ARE PROVIDED FOR INFORMATION ONLY TO ASSIST OTHER PARTIES DEVELOP THEIR DESIGNS/DRAWINGS DOCUMENTATION. THIS INFORMATION IS OUTSIDE OUR CONTRACTED SCOPE OF SERVICES AND HA-EY ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE DIGITAL DATA SUPPLIED. THE CONTRACTUAL DRAWINGS/INFORMATION PRODUCED BY HA-EY UNDER OUR APPOINTMENT ARE LIMITED TO THE 2D PDF DRAWING FILES/PAPER COPIES, WITH RESPECT TO DESIGN COORDINATION AND DIMENSIONAL SETTING OUT.		

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

# HA-EY

harrriott-eyles

**HA-EY Harriott-Eyles Ltd**  
Studio 8C  
20, 22 Lordship Ln  
London  
SE22 8HN  
E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

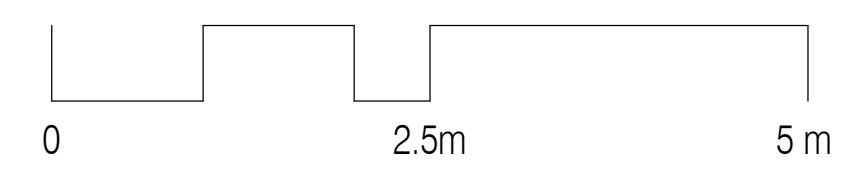
PROJECT:  
**Queen's Road  
Wimbledon, London**

**SECTION 4**

CLIENT:  
**Sanford Developments  
(Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JUN' 23
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SCALE (@ A1) 1:50	DRAWING NUMBER: 22066-QRP-S-153	PROJECT NUMBER: 22066	REV <b>P02</b>
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**NOTES**

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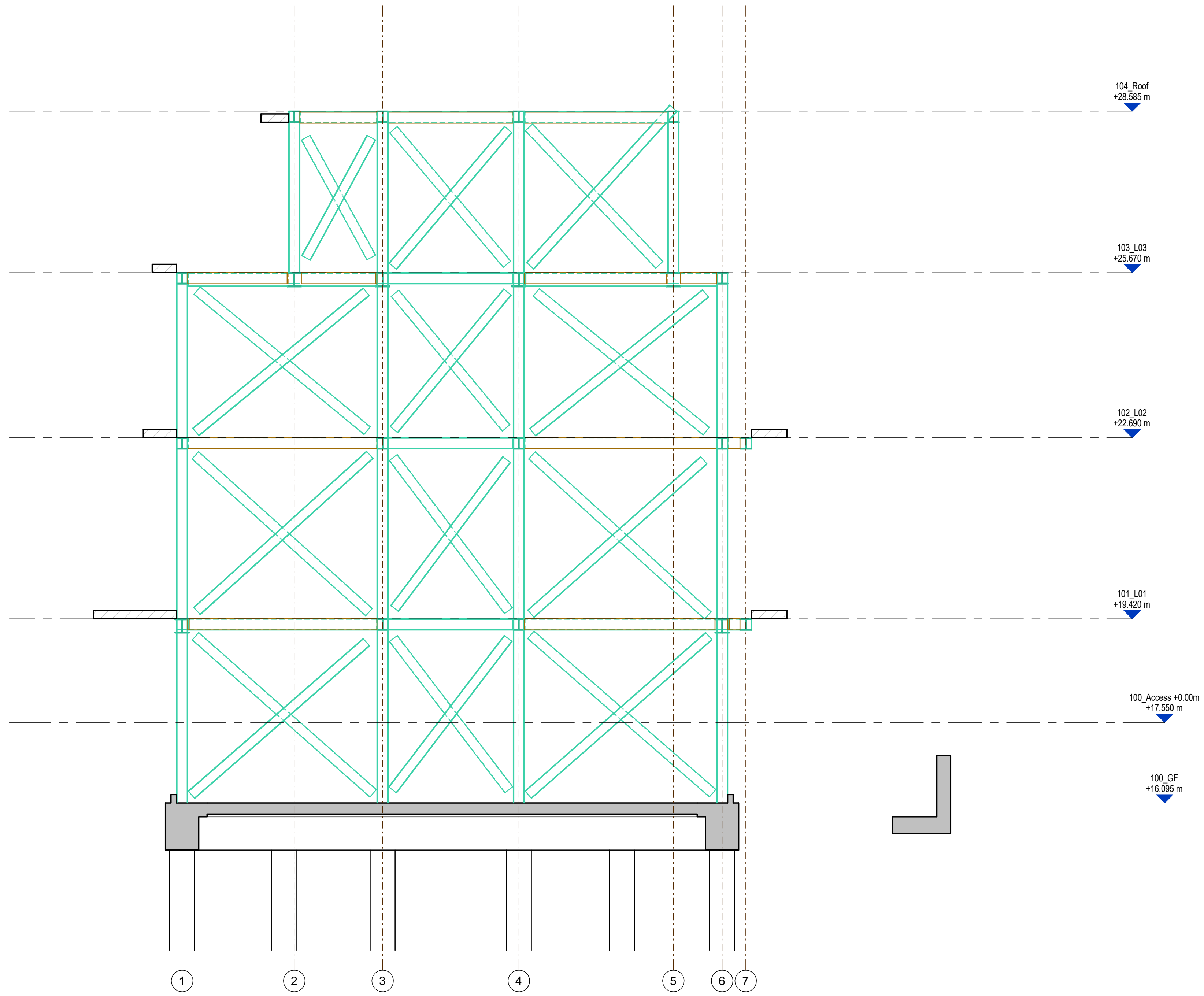
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**STAGE 3 DESIGN INTENT**  
 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
 FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING



**SECTION 5**  
 1:50

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

# HA-EY

harrriott-eyles

**HA-EY Harriott-Eyles Ltd**

Studio 8C  
 20, 22 Lordship Ln  
 London  
 SE22 8HN

E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
 Wimbledon, London**

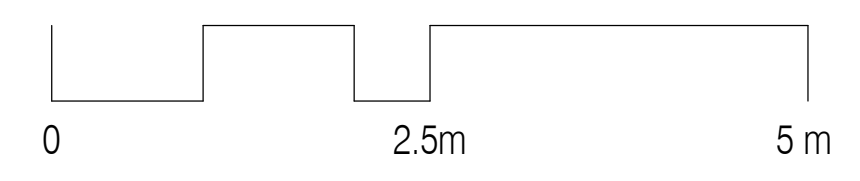
**SECTION 5**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN' 23

SCALE (@ A1)	PROJECT NUMBER:
1 : 50	22066

DRAWING NUMBER:	REV
22066-QRP-S-154	P02



**NOTES**

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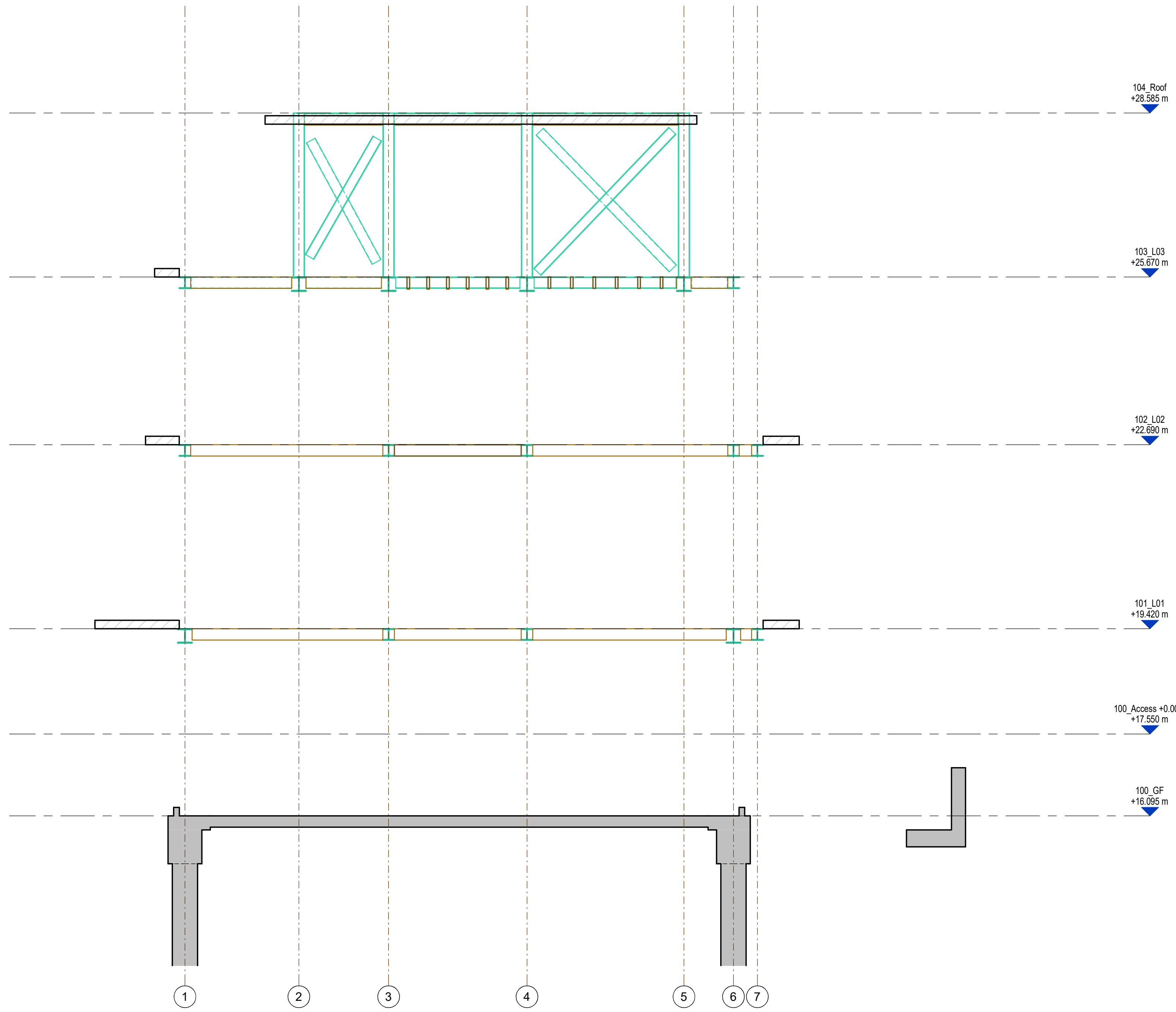
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 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY.  
 FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING



**SECTION 6**  
1:50

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

# HA-EY

harrriott-eyles

**HA-EY Harriott-Eyles Ltd**

Studio 8C  
20, 22 Lordship Ln  
London  
SE22 8HN

E hello@ha-ey.co.uk  
W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
Wimbledon, London**

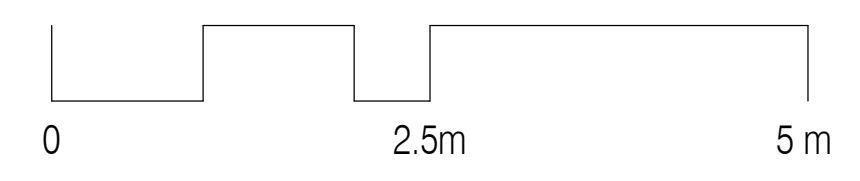
**SECTION 6**

CLIENT:  
**Sanford Developments  
(Wimbledon)**

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN' 23

SCALE (@ A1)	PROJECT NUMBER:
1:50	22066

DRAWING NUMBER:	REV
22066-QRP-S-155	P02



**NOTES**

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P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24

REV.	DESCRIPTION	DATE

STATUS	PURPOSE OF ISSUE
S2	STAGE 3

# HA-EY

harrriott-eyles

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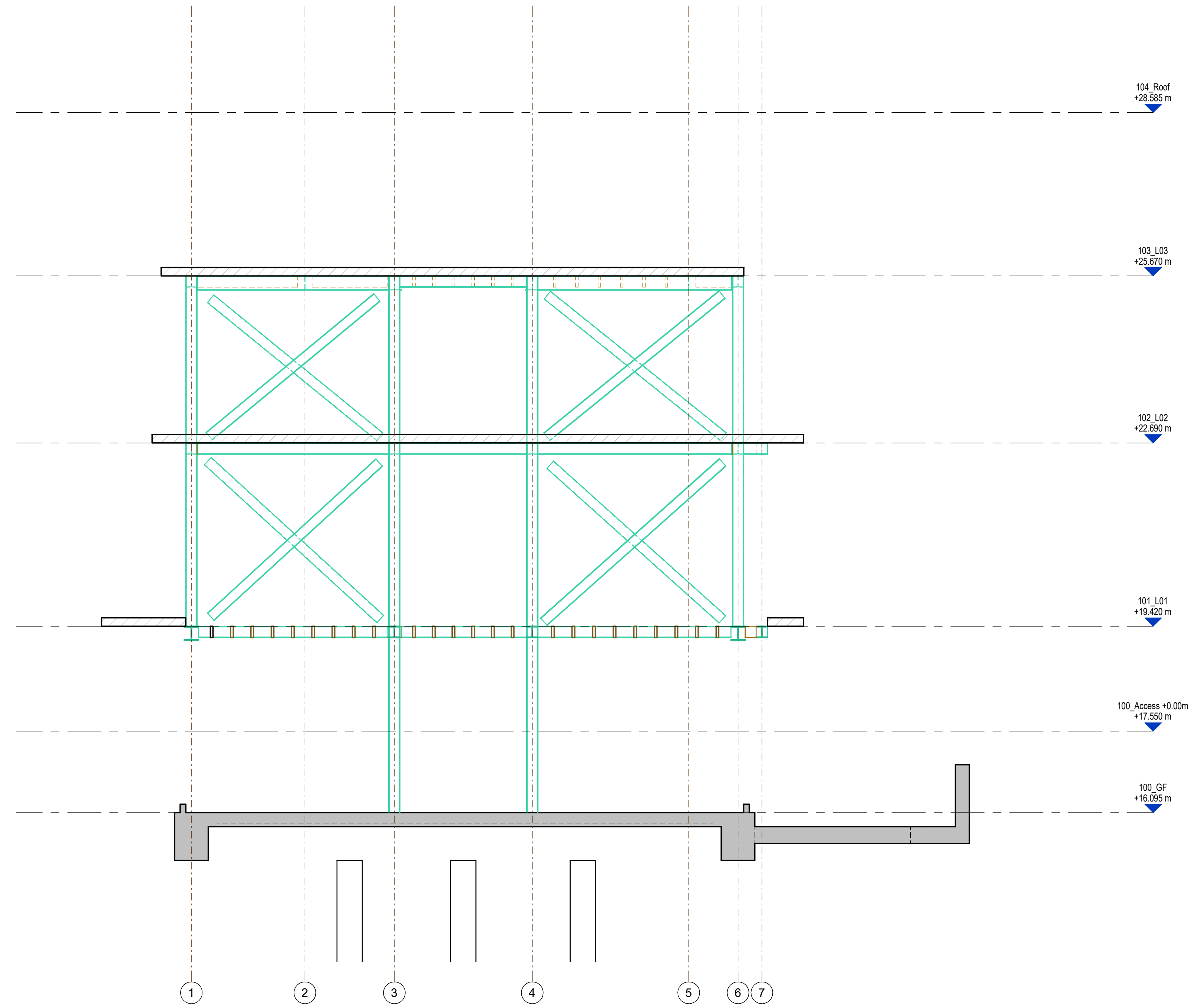
TITLE:  
**SECTION 7**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

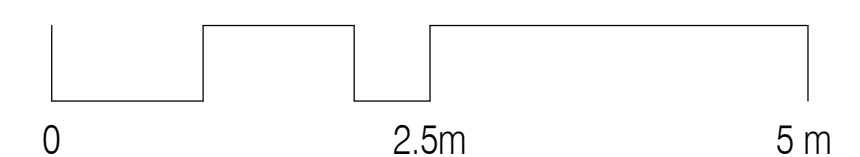
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
CS	JE	JE	JUN' 23

SCALE (@ A1)	PROJECT NUMBER:
1 : 50	22066

DRAWING NUMBER:	REV
22066-QRP-S-156	P02



**SECTION 7**  
 1:50



20230628 17:31:11



**NOTES**  
 DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE CHECKED ON SITE. ISSUED FOR PURPOSE INDICATED ONLY. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES BEFORE CONSTRUCTION COMMENCES. STRUCTURAL AND SERVICES INFORMATION ARE INDICATIVE ONLY. REFER TO CONSULTANT'S DRAWINGS AND SPECIFICATION FOR DETAILS AND SETTING OUT. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH CURRENT APPLICABLE STATUTORY LEGISLATION AND TO COMPLY WITH ALL RELEVANT CODES OF PRACTICE AND BRITISH AND EUROPEAN STANDARDS. INFORMATION CONTAINED WITHIN THIS DRAWING IS THE SOLE COPYRIGHT OF HARRIOTT-EYLES LTD. AND NOT TO BE REPRODUCED WITHOUT EXPRESSED WISHES.

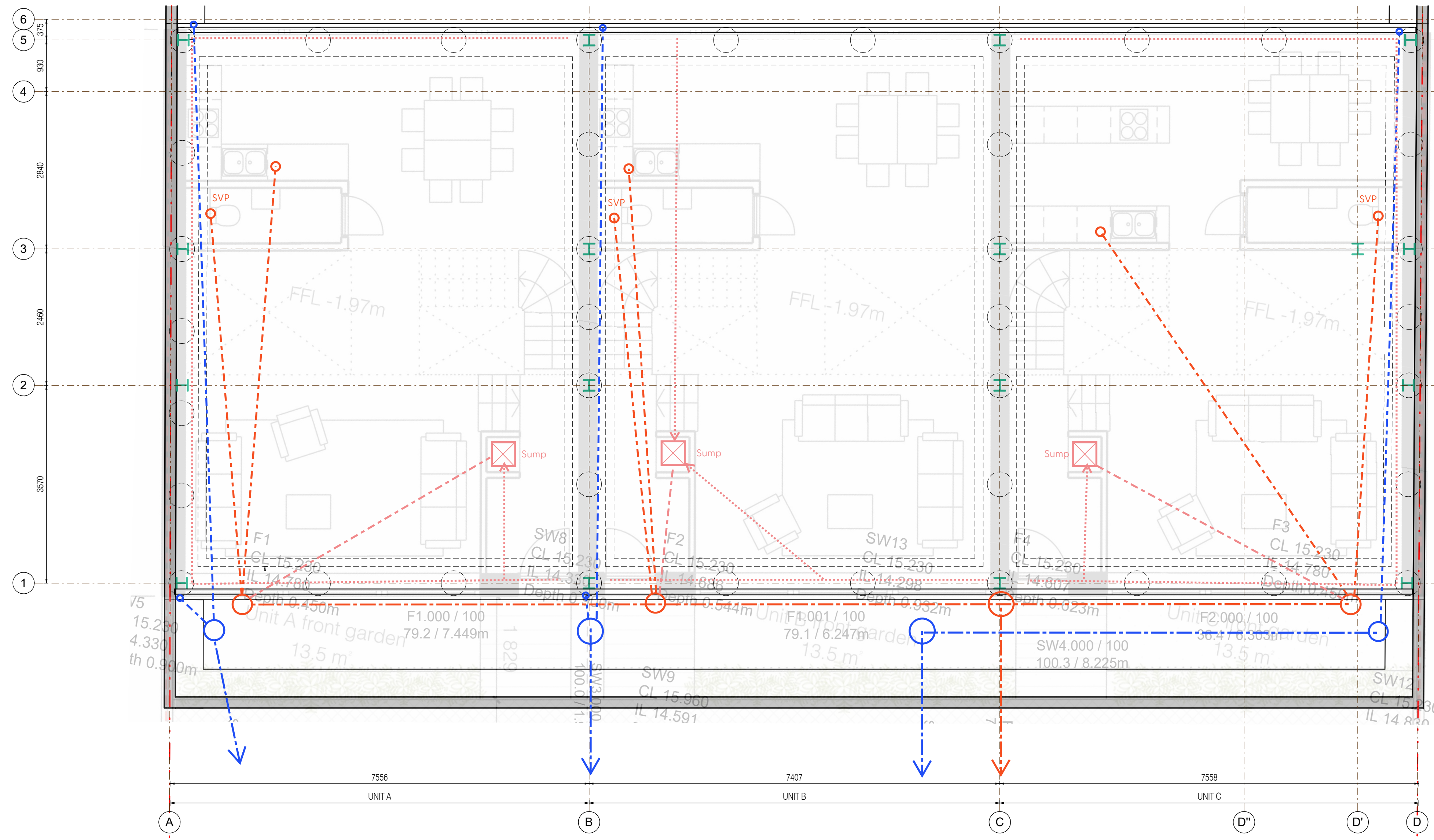
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 TW = TEMPORARY WORKS. THE NOTED AREAS ARE WHERE TEMPORARY WORKS ARE EXPECTED. THE CONTRACTOR IS TO REVIEW IN RELATION TO WORKING PRACTICES AND SEQUENCING.  
 CDM = CONSTRUCTION DESIGN & MANAGEMENT (CDM) STATEMENT.

1. ALL DIMENSIONS ARE IN MILLIMETER (MM).  
 2. DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY.  
 3. WHERE APPLICABLE, DEPTH OF FOUNDATIONS TO EXISTING STRUCTURES ARE ASSUMED AND SUBJECT TO TRIAL PITS AND OPENING UP WORKS (UNO).  
 4. PLEASE REFER TO CDM FOR DESIGN RISKS AND HAZARDS OUTSIDE THOSE NORMALLY ASSOCIATED WITH THE SCOPE OF WORKS FOR THIS TYPE OF PROJECT. NO SIGNIFICANT RESIDUAL HAZARDS BEYOND THOSE KNOWN TO A COMPETENT CONTRACTOR HAVE BEEN ASSUMED UNO IN THE CDM ASSESSMENT.  
 5. THIS DRAWING REMAINS THE COPYRIGHT OF HARRIOTT-EYLES LTD.

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 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY. FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING.



**KEY**

- SVP Soil stack with SVP or Air Intake Valve at inlet locations
- FW pipe with min 110 dia with 1:40 fall
- Rainwater Pipe min 110 dia with 1:40 fall
- Surface channel for Cavity drainage system, Sika CD WALL CHANNEL or similar to be approved. See 21111-QRP-C-200/201 for details
- Sump Surface water sump pump, provide provision for Sika PUMP PRO XL (OSA) - 1200 (width) x 1200mm (depth), cast in walls to be min 150thk Fitted with remote alarm AquaSafe™ High Level Alarm (OSA) as per manufacturers specification See 21111-QRP-C-200/201 for details
- Surface water sump pump pipe to combined man hole, to suit Sump Supplier Specifications. Provide non-return valve, OsmoDrain S/S Anti Flood Valve OSA. See 21111-QRP-C-200/201 for details

For Drainage outside of units  
 See RMB Drainage Strategy  
 Drawing 1243/DS01 & 1243/DS02

P02	STAGE 3 - PLANNING	22.03.24
P01	STAGE 3 - PLANNING	31.01.24
REV.	DESCRIPTION	DATE

STATUS: S2 PURPOSE OF ISSUE: STAGE 3

**HA-EY**  
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 E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

PROJECT:  
 Queen's Road  
 Wimbledon, London

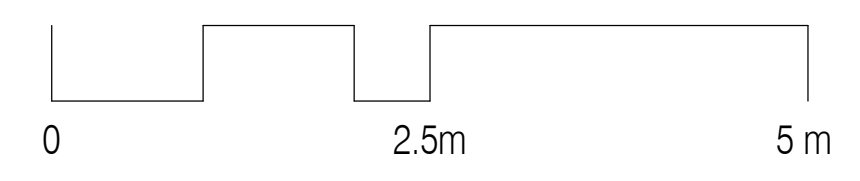
TITLE:  
 BELOW GROUND  
 DRAINAGE DRAWINGS &  
 BASEMENT WATERPROOFING

CLIENT:  
 Sanford Developments  
 (Wimbledon)

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JAN 24
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SCALE (@ A1) As indicated	PROJECT NUMBER: 23111
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DRAWING NUMBER: 23111-QRP-C-099	REV P02
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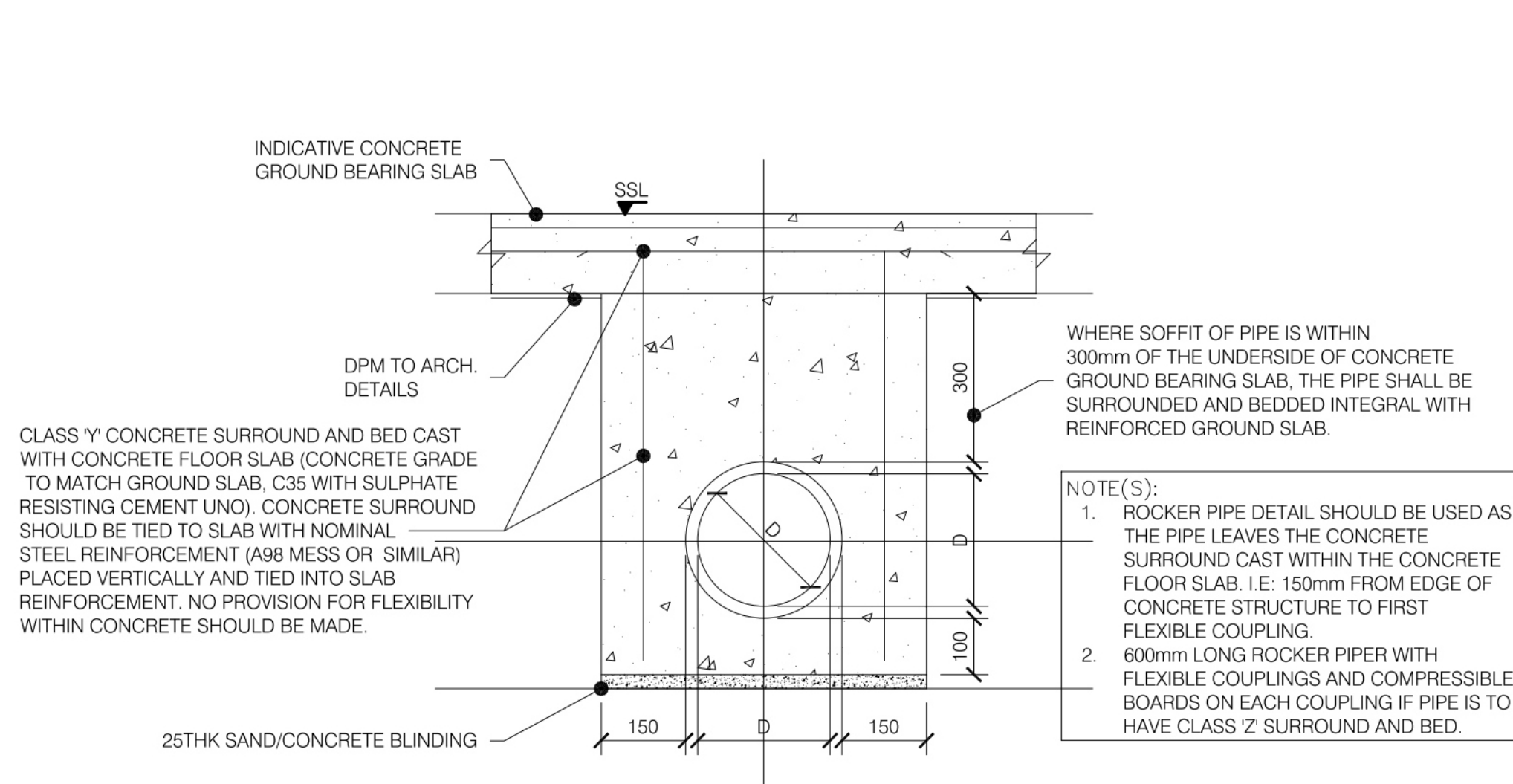
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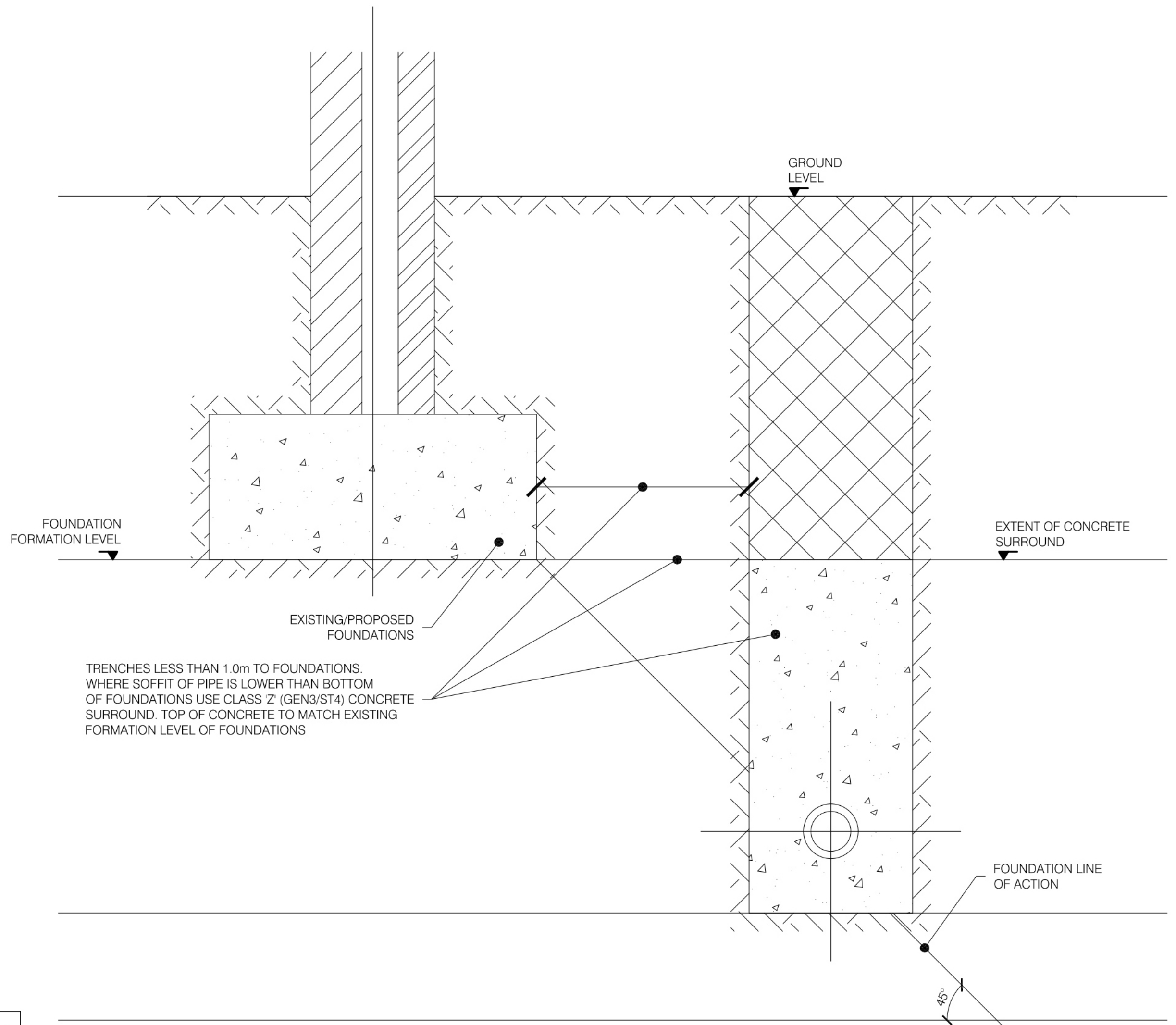
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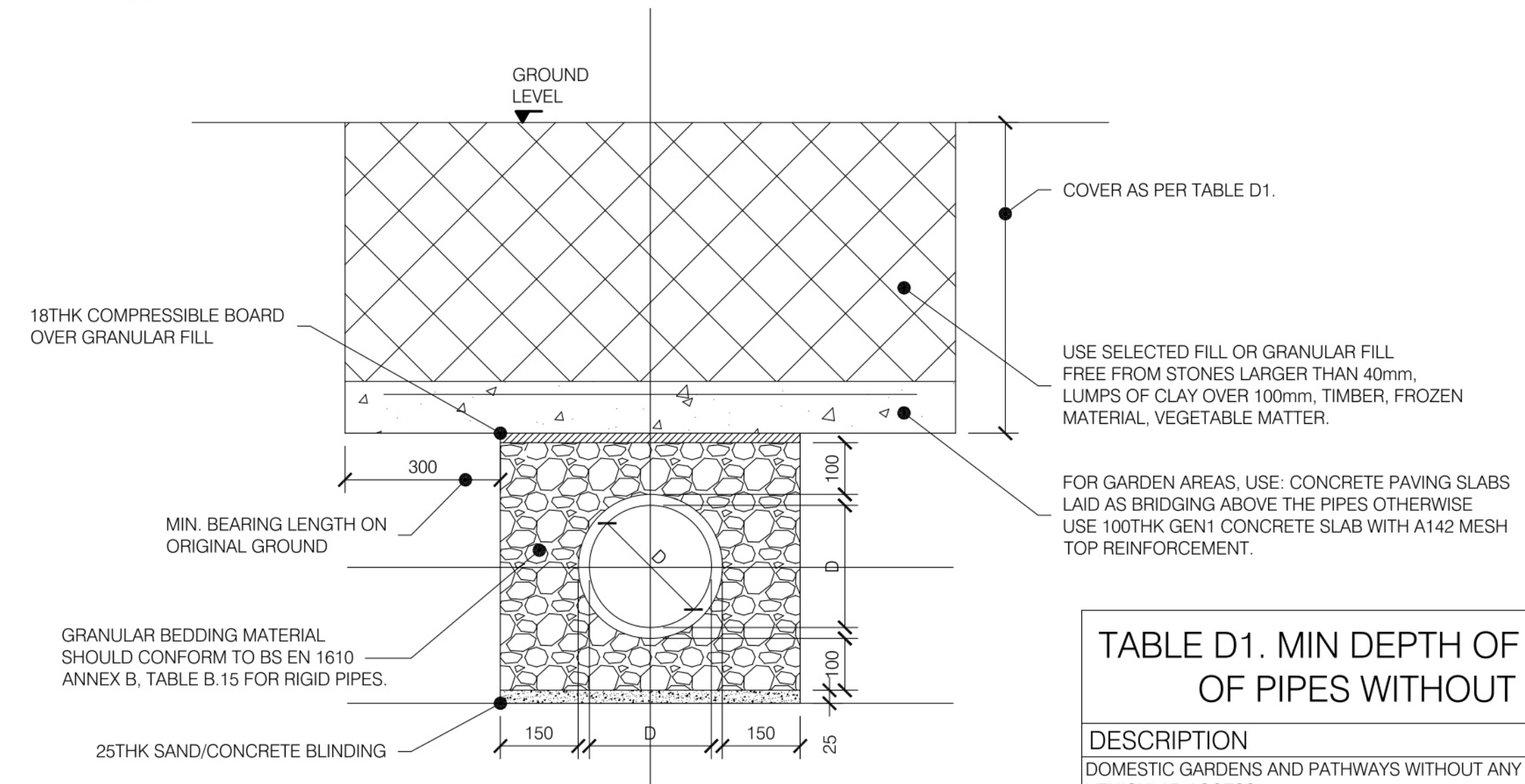
**STAGE 3 DESIGN INTENT**  
 PRIMARY STRUCTURE AND BELOW GROUND DRAINAGE FOR CO-ORDINATION AND SUPPORT TO PLANNING ONLY. FINAL SIZES AND FORM SUBJECT TO REVIEW FOLLOWING PLANNING APPROVAL, DESIGN TEAM REVIEW AND COSTING.



**Class 'Y' Bedding.**  
 Distance between pipe soffit and underside of concrete slab/ground beam, is less than 300mm  
 Scale 1:10



**PIPE PROTECTION ADJACENT TO EXISTING/PROPOSED FOUNDATIONS:**  
 DRAINAGE TRENCH LESS THAN 1.0m TO EXISTING/PROPOSED FOUNDATIONS  
 Scale 1:10

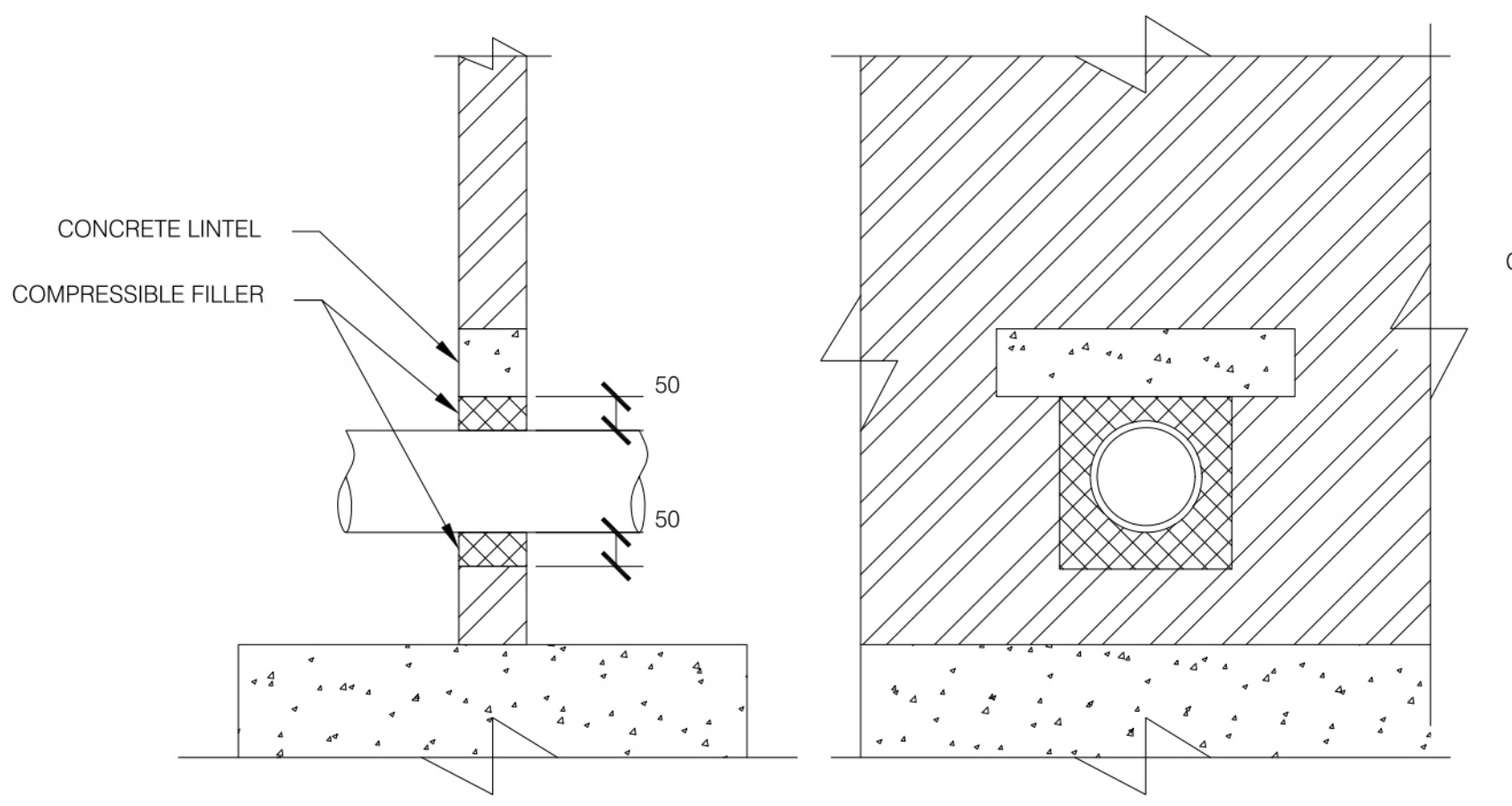


**Protection from pipes at shallow depths**  
 (to be read in conjunction with table d1).  
 Scale 1:10

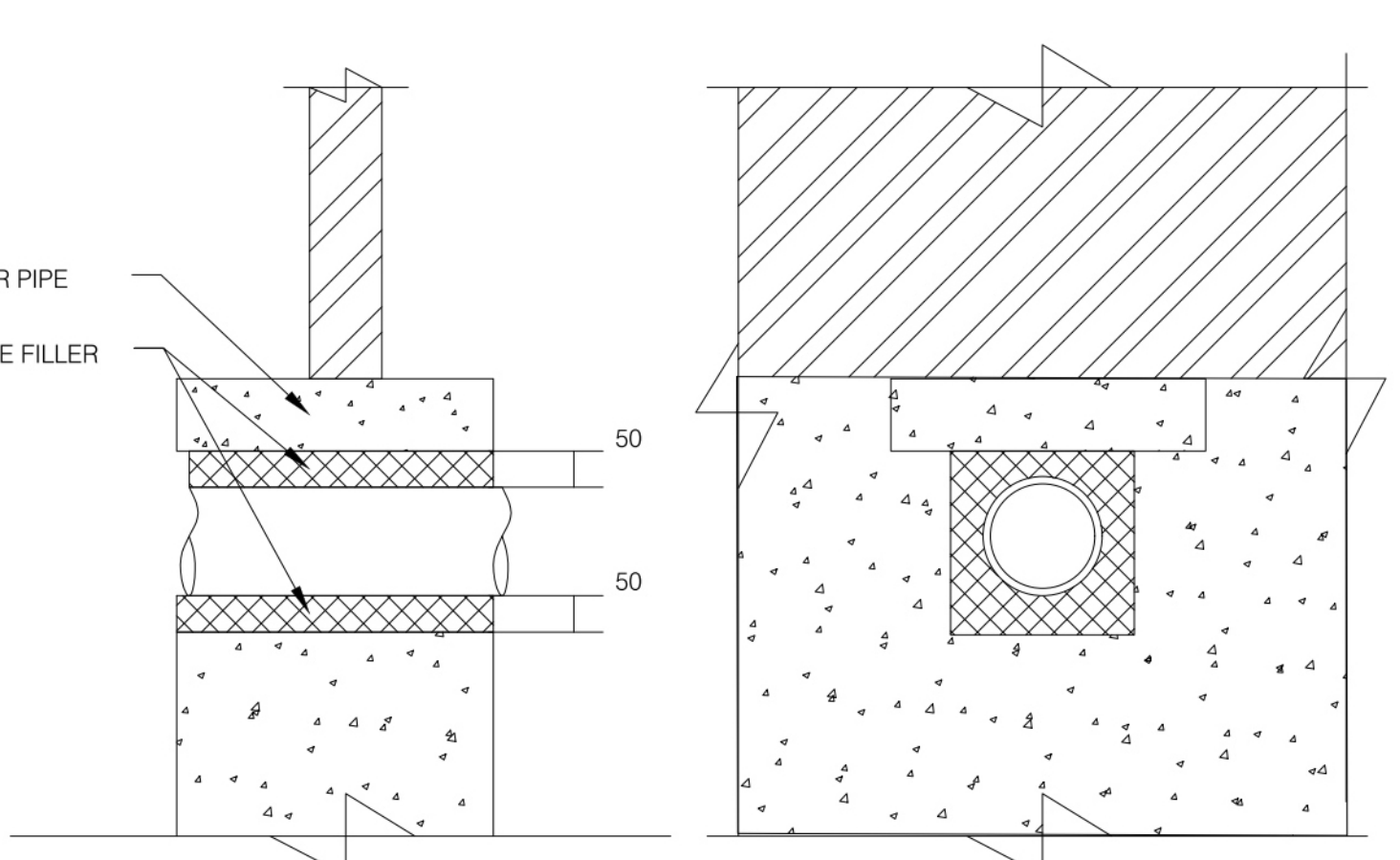
**TABLE D1. MIN DEPTH OF COVER TO CROWN OF PIPES WITHOUT PROTECTION**

DESCRIPTION	DEPTH
DOMESTIC GARDENS AND PATHWAYS WITHOUT ANY POSSIBILITY OF VEHICULAR ACCESS	0.60m
DOMESTIC DRIVEWAYS, PARKING AREAS AND YARDS WITH HEIGHT RESTRICTIONS TO PREVENT ENTRY BY VEHICLES WITH A GROSS WEIGHT IN EXCESS OF 7.5 TONNES	0.90m
DOMESTIC DRIVEWAYS, PARKING AREAS AND NARROW STREETS WITHOUT FOOTWAYS (E.G. MEWS DEVELOPMENTS) WITH LIMITED ACCESS FOR VEHICLES WITH A GROSS VEHICLE WEIGHT IN EXCESS OF 7.5 TONNES	0.90m
AGRICULTURAL LAND AND PUBLIC OPEN SPACE	0.90m
OTHER HIGHWAYS AND PARKING AREAS WITH UNRESTRICTED ACCESS TO VEHICLES WITH A GROSS VEHICLE WEIGHT IN EXCESS OF 7.5 TONNES	1.20m

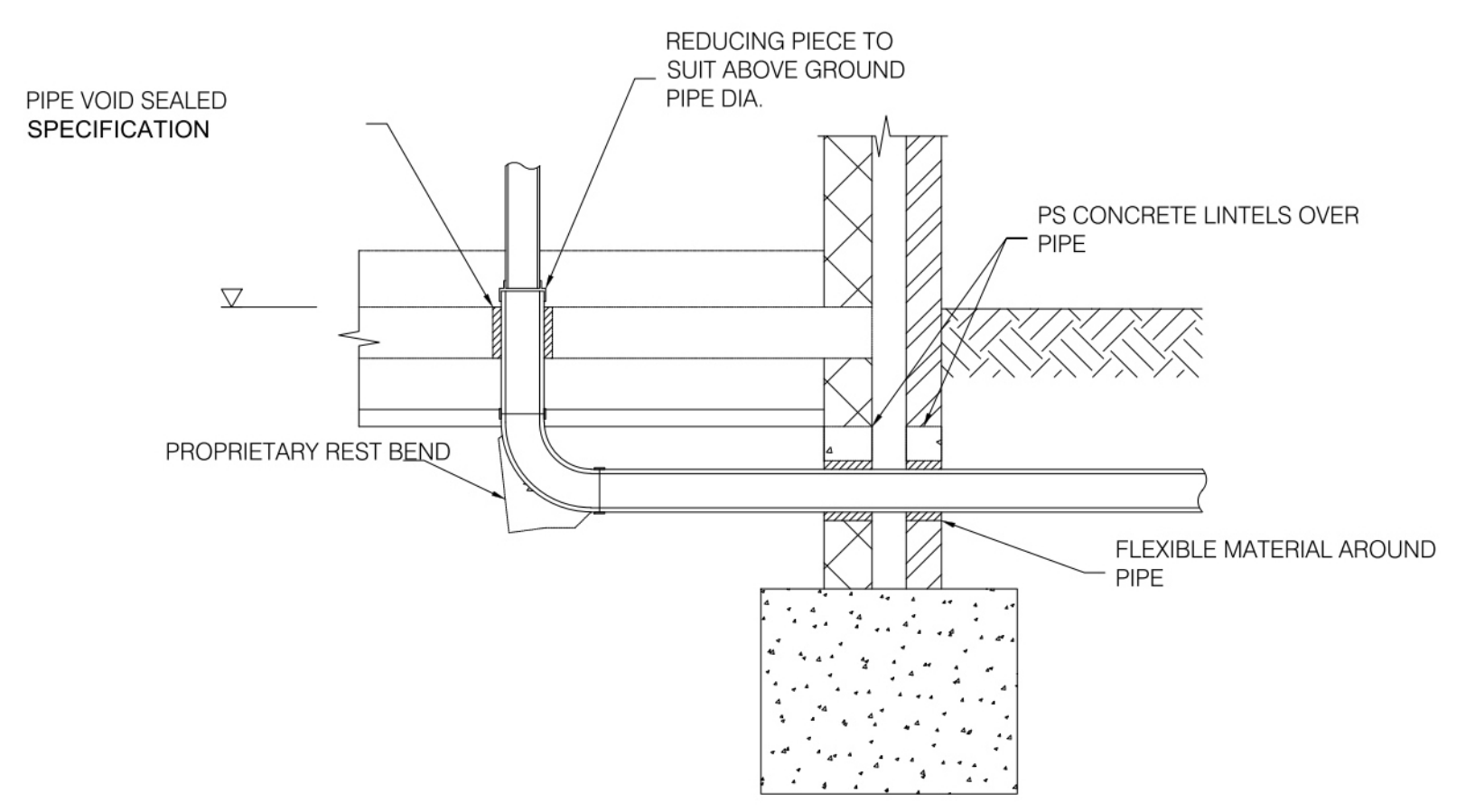
**NOTE(S):**  
 - TABLE ADOPTED FROM DIAGRAM 11, PART H, UK 2010 BUILDING REGULATIONS, AND CL.5.3.14, CHAPTER 5.3, 2017 NHBC REGULATIONS.



**Protection of pipes penetrating boundary walls**  
 Scale 1:10



**Protection of pipes penetrating strip footing**  
 Scale 1:10



**Typical foul SVP detail**  
 Scale 1:10

REV.	DESCRIPTION	DATE
P01	STAGE 3 - PLANNING	31/01/2024

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STATUS	PURPOSE OF ISSUE
S2	STAGE 3

**HA-EY**  
 harriott-eyles

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 Studio 8C  
 20, 22 Lordship Ln  
 London  
 SE22 8HN  
 E hello@ha-ey.co.uk  
 W www.ha-ey.co.uk

PROJECT:  
**Queen's Road  
 Wimbledon, London**

TITLE:  
**BELLOU GROUND  
 DRAINAGE  
 TYPICAL DETAILS**

CLIENT:  
**Sanford Developments  
 (Wimbledon)**

DRAWN BY: CS	CHECKED BY: JE	APPROVED BY: JE	DATE: JAN 24
SCALE (@ A1) As indicated		PROJECT NUMBER: 23111	
DRAWING NUMBER: 23111-QRP-C-150			REV <b>P01</b>

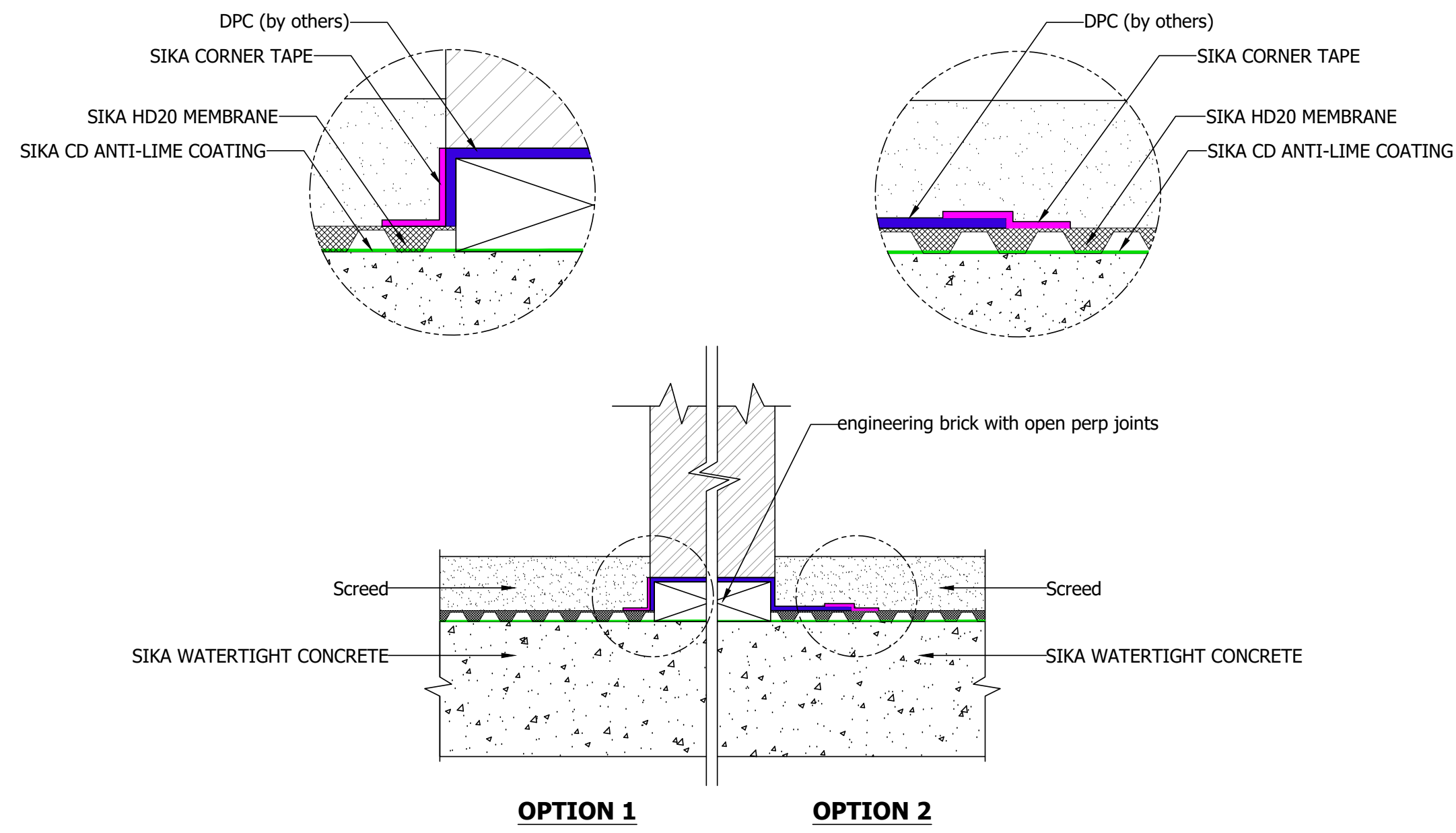






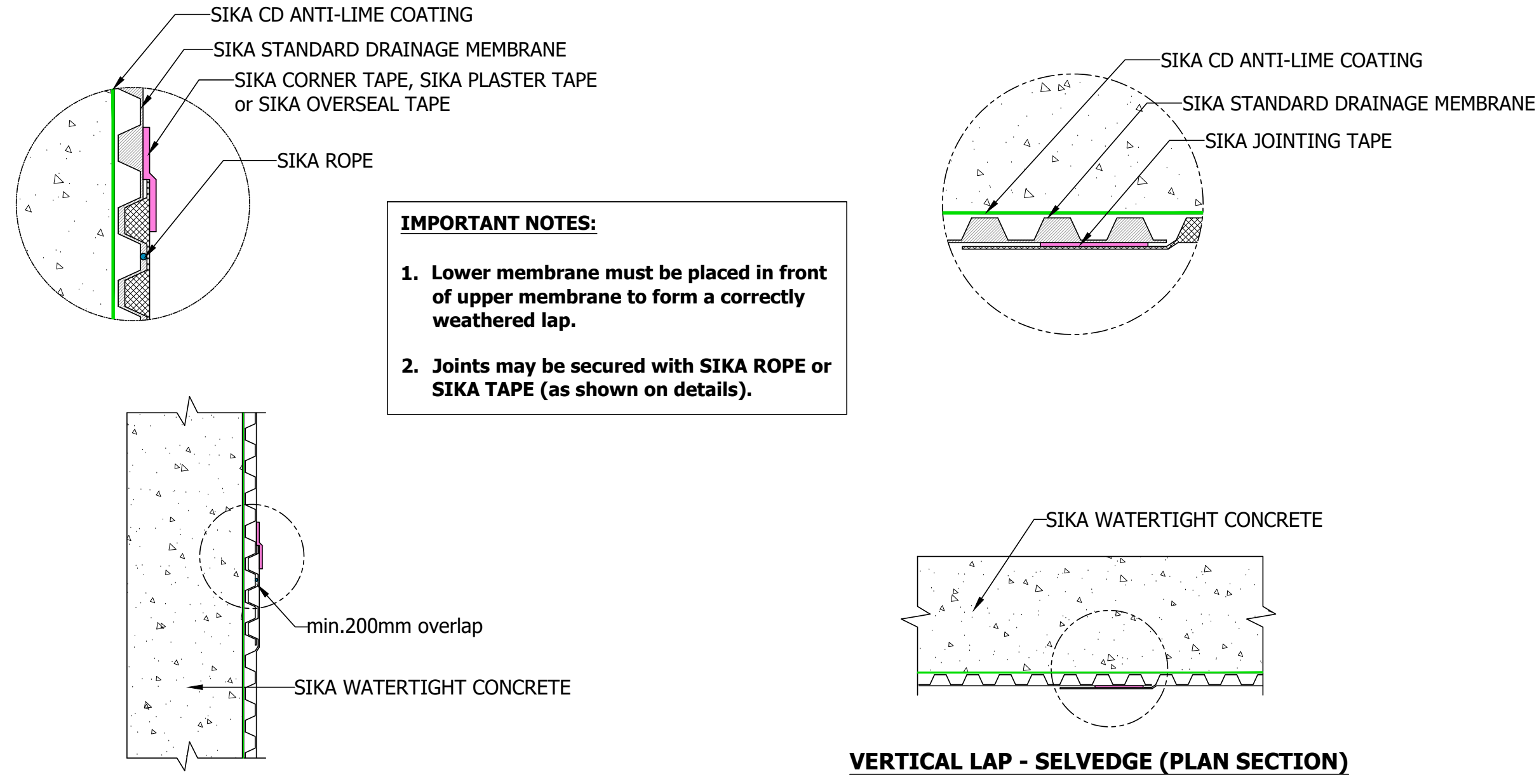
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### SIKA CAVITY DRAINAGE INTERNAL LOAD BEARING WALL DETAIL



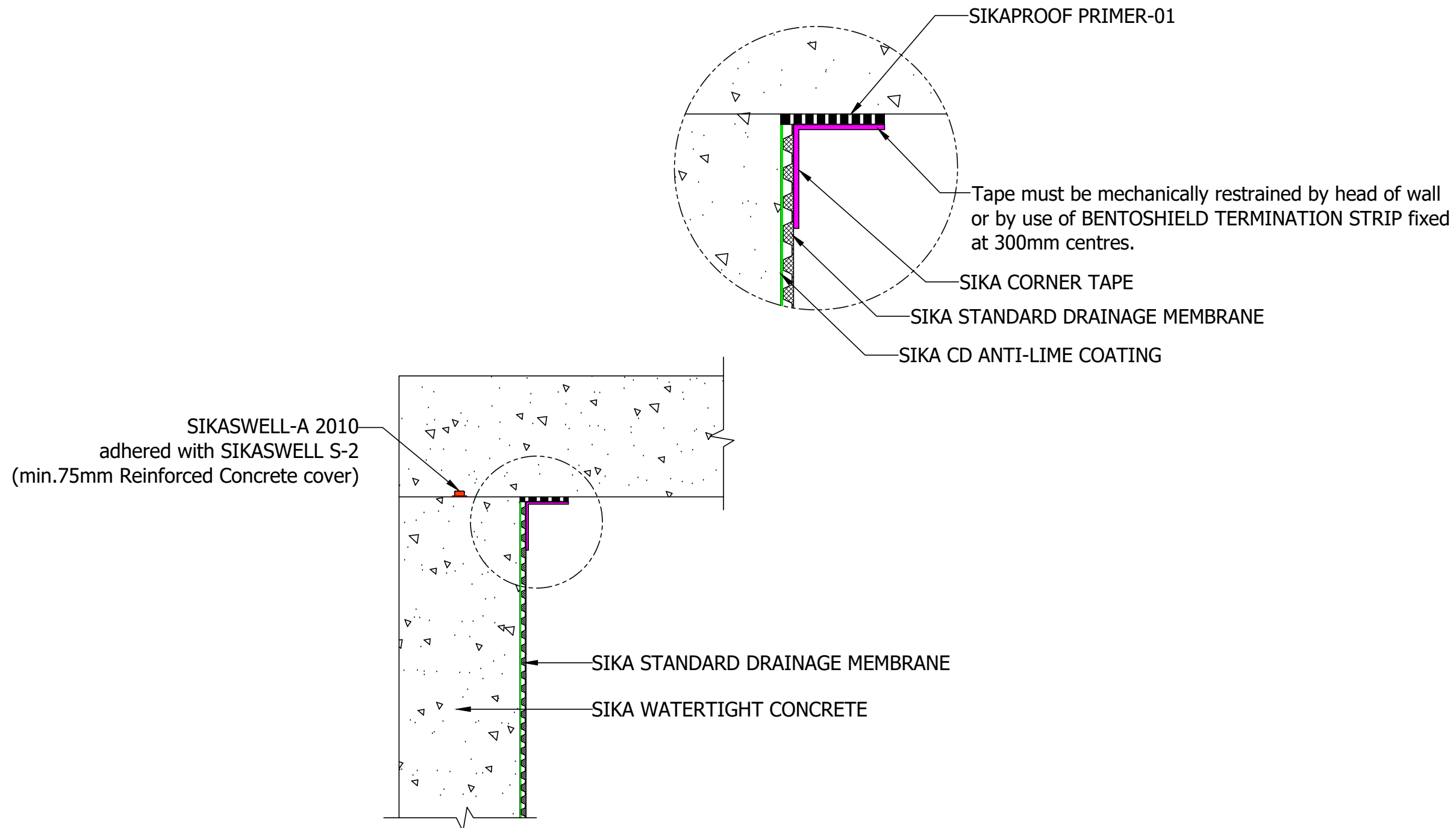
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Revision	Description	By:	Aprvd By:	Date															
B	Updated detail	A.O'Ferrall	D.Cliff	25/05/20															

### SIKA CAVITY DRAINAGE OVERLAP DETAILS (SIKA STANDARD CAVITY MEMBRANE)



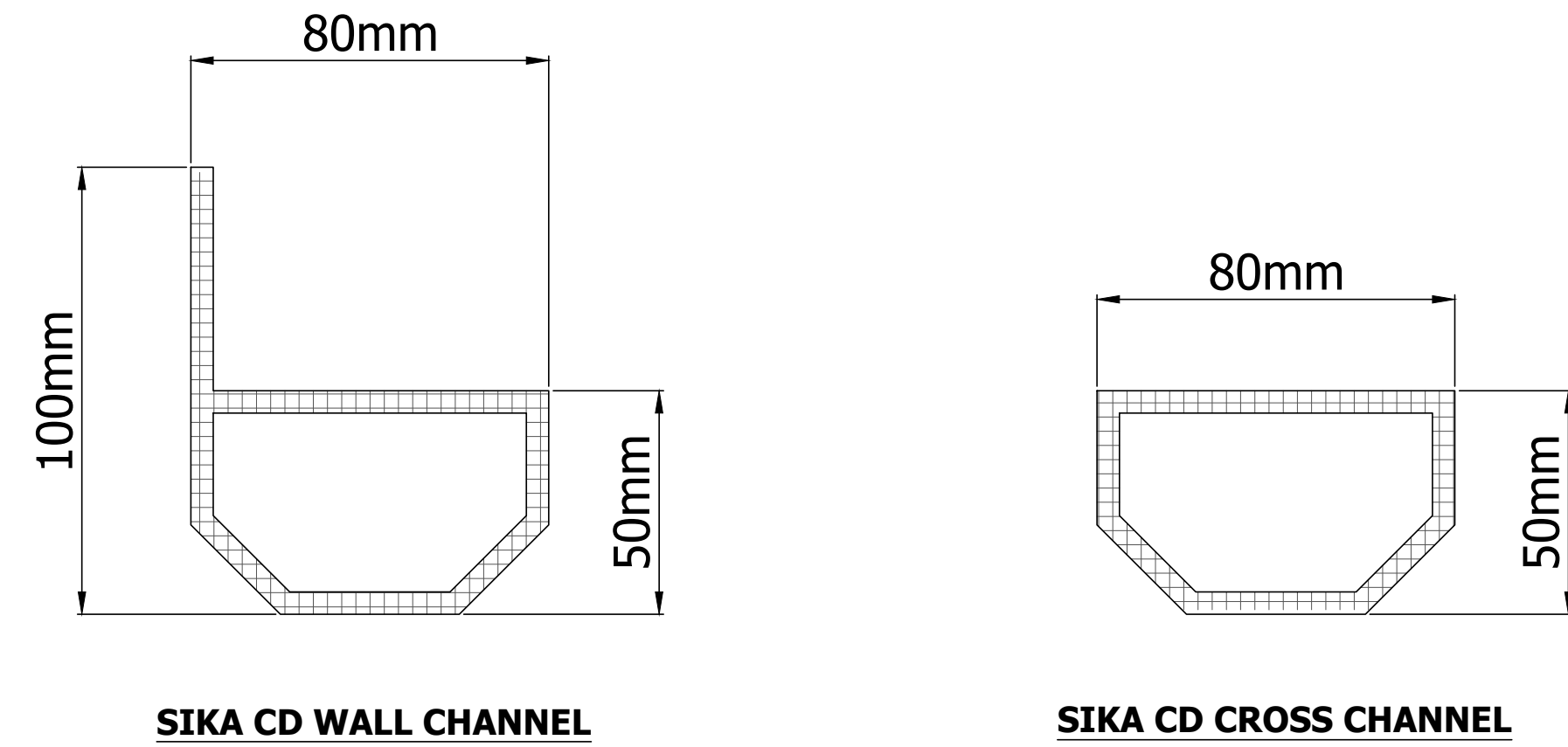
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### SIKA CAVITY DRAINAGE TERMINATION DETAIL AT SOFFIT



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Revision	Description	By:	Aprvd By:	Date															
B	Updated detail	A.O'Ferrall	D.Cliff	04/06/20															

### SIKA CAVITY DRAINAGE - CHANNEL DIMENSIONS



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**RIBA Stage 3 Waterproofing Design Intent**  
 Below ground basement to be Class 3 Habitable Basement, it is assumed that min two levels of protection against water ingress are to be provided, with water repellent additive or SIKa render and SIKa Drainage system  
 Indicative basement waterproofing SIKa typical details shown for Stage 3 design development, final system to be developed with Basement Specialist, Main Contractor and Design Team.

P01	STAGE 3 - PLANNING	31/01/2024
REV.	DESCRIPTION	DATE

STATUS: S2 PURPOSE OF ISSUE: STAGE 3

HA-EY Harriott-Eyles Ltd  
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PROJECT: Queen's Road  
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 SIKa TYPICAL DETAILS

CLIENT: Sanford Developments  
 (Wimbledon)

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